

63 UNIT APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

SEPARATE PERMITS:

1. FIRE SPRINKLER SYSTEM, NFPA 13
2. ELEVATOR
3. MECH., ELECT., PLUMB.
4. SHORING
5. FIRE ALARM SYSTEM & MONITORING
6. LOW VOLTAGE, TEL., DATA
7. EMERGENCY RESPONDER RADIO COVERAGE CFC §10, WHEN REQ'D.
8. 2-WAY COMMUNICATION AT ELEVATIONS & LOBBIES PER CBC 1009.8
9. SOLAR PHOTOVOLTAIC SYSTEM.

PROJECT LOCATION

The map displays the project location at the intersection of Foothill Blvd and Leedang Ave. A red pin and a hatched rectangle mark the site. Surrounding landmarks include McDonald's, 1001 PLUS, and various businesses. A north arrow is located in the bottom right corner.

VICINITY MAP

DRAWINGS INDEX	
A0.1	TITLE SHEET
A1.0	SURVEY PLAN
A1.1	OPEN SPACE DIAGRAM
A1.2a	FLOOR AREA PER ZONING CODE DIAGRAMS
A1.2b	FLOOR AREA PER ZONING CODE DIAGRAMS
A1.3	BICYCLE PARKING REQUIREMENT
A1.4a	PROJECT NOTES
A1.4b	PROJECT NOTES
A1.4c	PROJECT NOTES
A1.5	DISABLED ACCESS REQUIRMENTS
A1.6	DISABLED ACCESS REQUIREMENTS
A1.7	DISABLED ACCESS REQUIREMENTS
A1.8	DISABLED ACCESS REQUIREMENTS
A1.9	PENETRATION FIRE STOP SYSTEMS
A1.10	RESIDENTIAL GREEN BUILDING
A1.11	FLOOR AREA PER BUILDING CODE DIAGRAMS
A1.12	EGRESS DIAGRAM
A2.0	SITE PLAN
A2.1	GARAGE PLAN
A2.2	FIRST FLOOR PLAN
A2.3	SECOND FLOOR PLAN
A2.4	THIRD FLOOR PLAN
A2.5	FOURTH FLOOR PLAN
A2.6	FIFTH FLOOR PLAN
A2.7	SIXTH FLOOR PLAN
A2.8	ROOF PLAN
A3.1	SOUTH & EAST ELEVATIONS
A3.2	NORTH & WEST ELEVATIONS
A4.1	SECTIONS A-A & B-B
A6.1	UNIT PLANS A, B, C & D
A6.2	UNIT PLANS E, F, F1, G, H & L
A6.3	UNIT PLANS J, K, M, N & P
A7.1a	DOOR & FINISH SCHEDULE
A7.1b	WINDOW & FINISH SCHEDULE
A8.1	UNPROTECTED OPENINGS
A8.2	ROOF & SITE DETAILS
A8.3	DOOR & WINDOW DETAILS
A8.4	INTERIOR DETAILS
A8.5	EXTERIOR DETAILS
A8.6	FIRE-RESISTIVE DETAILS
A8.7	FIRE-RESISTIVE & MISC. DETAILS
A8.8	ACCESSIBILITY DETAILS
A8.9	ACCESSIBILITY DETAILS
A8.10	ACCESSIBILITY DETAILS
A8.11	ACCESSIBILITY DETAILS
A8.12	ACCESSIBILITY DETAILS
A8.13	ACCESSIBILITY DETAILS
L1	LANDSCAPE SITE PLAN
L2	LANDSCAPE SECOND FLOOR PLAN
L3	LANDSCAPE FOURTH FLOOR PLAN
L4	LANDSCAPE SIXTH FLOOR PLAN
L5	LANDSCAPE ROOF PLAN

MS

THIS IS A ED-1 100% AFFORDABLE HOUSING PROJECT AND IS NOT REQUESTING GENERAL PLAN AMENDMENT, ZONE CHANGE, HEIGHT DISTRICT CHANGE, VARIANCE, SPECIFIC PLAN EXCEPTION, OR WAIVER OF DEDICATION/IMPROVEMENTS. THIS PROJECT INCLUDES 1 MARKET RATE MANAGER'S UNIT, 13 UNITS (20%) SHALL BE RESTRICTED TO MODERATE INCOME HOUSEHOLDS, AND THE REMAINING 49 UNITS SHALL BE RESTRICTED TO LOW INCOME HOUSEHOLDS.

THE FOLLOWING INCENTIVES AND WAIVERS ARE BEING REQUESTED WITH THE CITY PLANNING CASE FOR THIS 100%.

OFF MENU INCENTIVE:

- ALLOW INCREASE IN FAR FROM 1.5 TO 3.5.
- ALLOW INCREASING NUMBER OF STORIES FROM 3 TO ALLOW 6 STORIES .
- ALLOW ZERO PARKING REQUIREMENTS INCLUDING RESIDENTIAL, COMMERCIAL AND GUEST PARKING.
- ALLOW MIXED USE PROJECT OTHERWISE PROHIBITED BY THE FOOTHILL BOULEVARD CORRIDOR SPECIFIC PLAN SECTION 7.A.1

LANDSCAPING NOTES:

1. USE OF ARTIFICIAL PLANTS FOR EXTERIOR LANDSCAPE SHALL BE PROHIBITED.
2. DROUGHT TOLERANT PLANT MATERIALS ARE ENCOURAGED.
3. LANDSCAPING SHALL COMPLY WITH ADOPTED ZERISCAPE ORDINANCE.
4. ALL LANDSCAPING SHALL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER OR DRIP IRRIGATION SYSTEM DESIGNED TO CONSERVE WATER. IN ADDITION, THE SYSTEM SHALL BE INSTALLED AND OPERATIONAL PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
5. SOFTSCAPE: EACH AREA TO BE LANDSCAPED SHALL BE PLANTED WITH A VARIETY OF PLANT MATERIALS WHICH INCLUDE SHRUBS, TREES, GROUND COVER, LAWN, PLANTER BOXES OR FLOWERS.
6. MAINTENANCE OF LANDSCAPE AND AMENITIES: ALL FABRICATED FEATURES SHALL BE MAINTAINED IN A GOOD CONDITION BOTH IN STRUCTURAL INTEGRITY AND COSMETIC APPEARANCE. ALL SOFTSCAPE SHALL BE WATERED, FERTILIZED, TRIMMED AND MAINTAINED IN GOOD CONDITION. REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF LETTER AND OTHER UNDESIRABLE DEBRIS.

ZONING FLOOR AREA: ALLOWED: 1.5 X 233.33% INCREASE PER OFF- MENU INCENTIVE
= 3.5 X 14,630.8 S.F. = 51,207.8 S.F.
PROPOSED: 36,731 S.F. SEE FLOOR AREA DIAGRAMS ON SHEET
A1.2a & A1.2b.

OPEN SPACE: REQUIRED: 61 SINGLE AND 1 BEDROOMS X 100 = 6100 S.F.
2 TWO BEDROOMS X 125 = 250 S.F.
TOTAL REQUIRED = 6350 S.F. (6100+250)

PROVIDED: 2ND FLOOR COURTYARD = 628 S.F.
PRIVATE BALCONIES: 35 X 50 = 1750 S.F.
4TH FLOOR ROOF DECK #1 = 1053 S.F.
6TH FLOOR ROOF DECK #2 = 740 S.F.
6TH FLOOR ROOF DECK #3 = 694 S.F.
ROOF DECK #4 = 903 S.F.
ROOF DECK #5 = 869 S.F.
TOTAL PROVIDED = 6637 S.F. > 6350 S.F.

PARKING:

REQUIRED: ZERO RESIDENTIAL AND COMMERCIAL PARKING
REQUIRED PER OFF MENU INCENTIVE.

VOLUNTARY PARKING TO BE PROVIDED.

REQUIRED EV SPACES: 31 TOTAL SPACES X 30% = 10 SPACES.

REQUIRED HC SPACES: 31 X 2% (ASSIGNED) = 1 SPACE.

PROVIDED:

	RESIDENTIAL (LOCATED ON SUBTERRANEAN GARAGE)	COMMERCIAL (FIRST FLOOR)
C	= 15	03
HC-VAN	= 01	01
EV	= 06	02
EV-VAN	= 01	01
TOTAL	= 23	07

BIKE PARKING: REQUIRED:
PER SPECIFIC PLAN SECTION B.3:
31 VEHICLE SPACES / 0.5 = 62

RESIDENTIAL BICYCLE PARKING PER LAMC 12.21 A.16					
63	Short-Term		Long-Term		
Units	Rate	Required	Rate	Required	
1-25	1/10	2.5	1/1	25	
26-100	1/15	2.53	1/1.5	25.33	
101-200	1/20	0	1/2	0	
201+	1/40	0	1/4	0	
NOTE: FRACTION OF TWO ONE-HALF IS DISREGARDED		Total:	5	Total:	50

COMMERCIAL:
LONG TERM: 2508/2000 = 1. MIN. 2 REQUIRED
SHORT TERM: 2508/2000 = 1. MIN. 2 REQUIRED
SPECIFIC PLAN REQUIREMENT: $\frac{1}{2}$ BIKE PARKING X 10 VEHICLE
PARKING: 7 VEHICLE PARKING X 0.5 = 3.5. 4 PROVIDED.
PROVIDED:
LONG TERM: 52 (50 RESIDENTIAL AND 2 COMMERCIAL)
SHORT TERM: 7 (5 RESIDENTIAL AND 2 COMMERCIAL)

REQUIRED: 65 UNITS/4 - 16 ROUNDED, PROVIDED: 16.

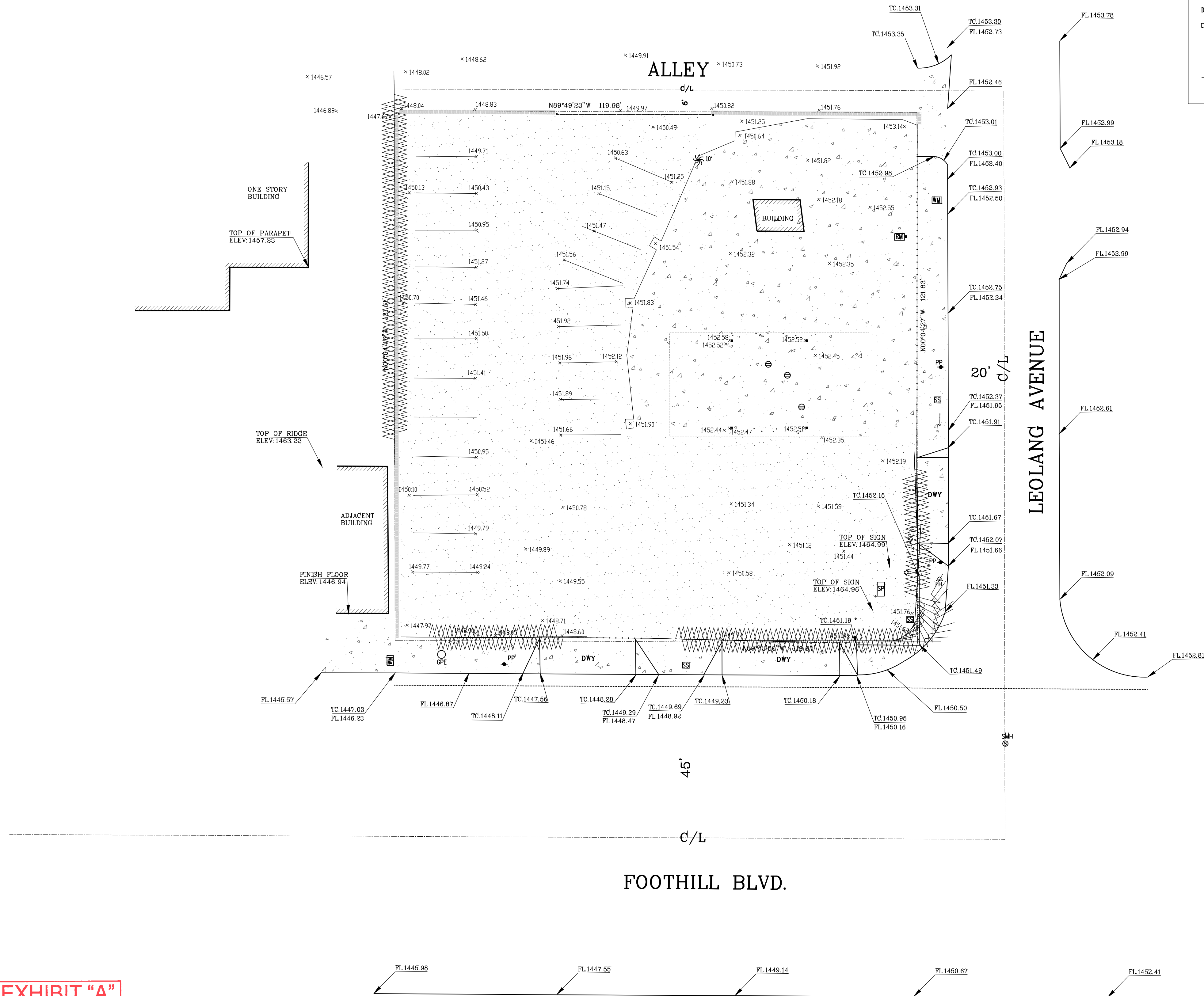
SHOW COMPLIANCE OF PLANS: STREET TREES SHALL BE PLANTED ALONG THE PUBLIC RIGHT-OF-WAY TO THE SPECIFICATIONS ESTABLISHED BY THE STREET TREE DIVISION OF THE DEPARTMENT PUBLIC WORKS AT A MINIMUM OF ONE TREE PER 30 LINEAL FEET PER FOOTHILL BOULEVARD CORRIDOR SPECIFIC PLAN SECTION 7.B.6.f.

<div>SAM ASLANIAN ARCHITECT</div> <div>19951 TURNBERRY DRIVE TARZANA CA 91356</div> <div>TEL: 818.383.3237 FAX: 818.301.2703</div> <div>email: sam@aslanianarchitects.com www.aslanianarchitects.com</div>	
SIGNATURE	
<div></div>	
OWNER	
<div>MS. ARMINE NAZLOYAN</div> <div>7937 FOOTHILL BLVD. SUNLAND, CA 91040</div> <div>CONTACT: VAHRAM TEL: 818.267.6607</div>	
CONSULTANT	
<div>PROJECT TITLE</div> <div>63 UNIT APARTMENT BUILDING 7937 FOOTHILL BOULEVARD, SUNLAND-TUJUNGA, CA 91040</div>	
DATE	REVISIONS
DATE	ISSUED FOR
NOTES	
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. ANY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND FOLLOW ON THE DESIGN PROFESSION'S GUIDANCE WITH RESPECT TO ANY ERROR, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DEMANDS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF AND WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS	
DATE	09-17-2024
DRAWN	
CHECKED	
PROJECT	63 UNIT APARTMENT BUILDING
SHEET TITLE	
TITLE SHEET	

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOTS 7, 8, 9 & 10, TRACT 3719, IN THE CITY OF LOS ANGELES, BOOK 46, PAGES 83 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER.



LEGEND	
WM	WATER METER
EM	ELECTRIC METER
SS	STREET SIGN
PP	POWER POLE
PA	POWER POLE ANCHOR
DWY	DRIVEWAY
C/L	CENTER LINE
SMH	SEWER MANHOLE
D	DRAIN
SP	SIGN POST
	BOUNDARY LINE
	TREE
	PALM
	CONC. BLOCK WALL
	W/AT ELEVATION
	W/AT FENCE
	IRON FENCE
	ASPHALT PATTERN
	CONCRETE PATTERN
	BUILDING LINE

TOPOGRAPHIC
SURVEY

PREPARED FOR:

VAGRAM GALOUSTIAN

818-267-6607

NOTES:

- THE LEGAL DESCRIPTION, BOUNDARIES AND EASEMENT SHOWN HEREON ARE PER RECORD DATA
- MISC. DATA
TOTAL PROPERTY AREA: 14603 SQ.FT.

BENCH MARK:

ASSUMED DATUM
ELEVATION=1453.62
FD SPK, NE CURB @ INTERSECTION
OF FOOTHILL BLVD. & LEOLANG AVE.

No.	Revision/Issue	Date
-----	----------------	------

Firm Name and Address

MOLAI LAND & DESIGN
24308 BURBANK BLVD
WOODLAND HILLS, CA 91367
818-325-9225
MOLAI22@YAHOO.COM

Project Name and Address

7937 Foothill Boulevard,
Sunland-Tujunga, CA 91040

Project

4065

Date

06-22-2020

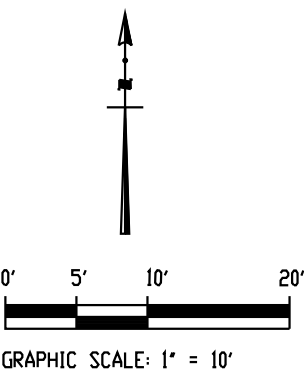
Scale

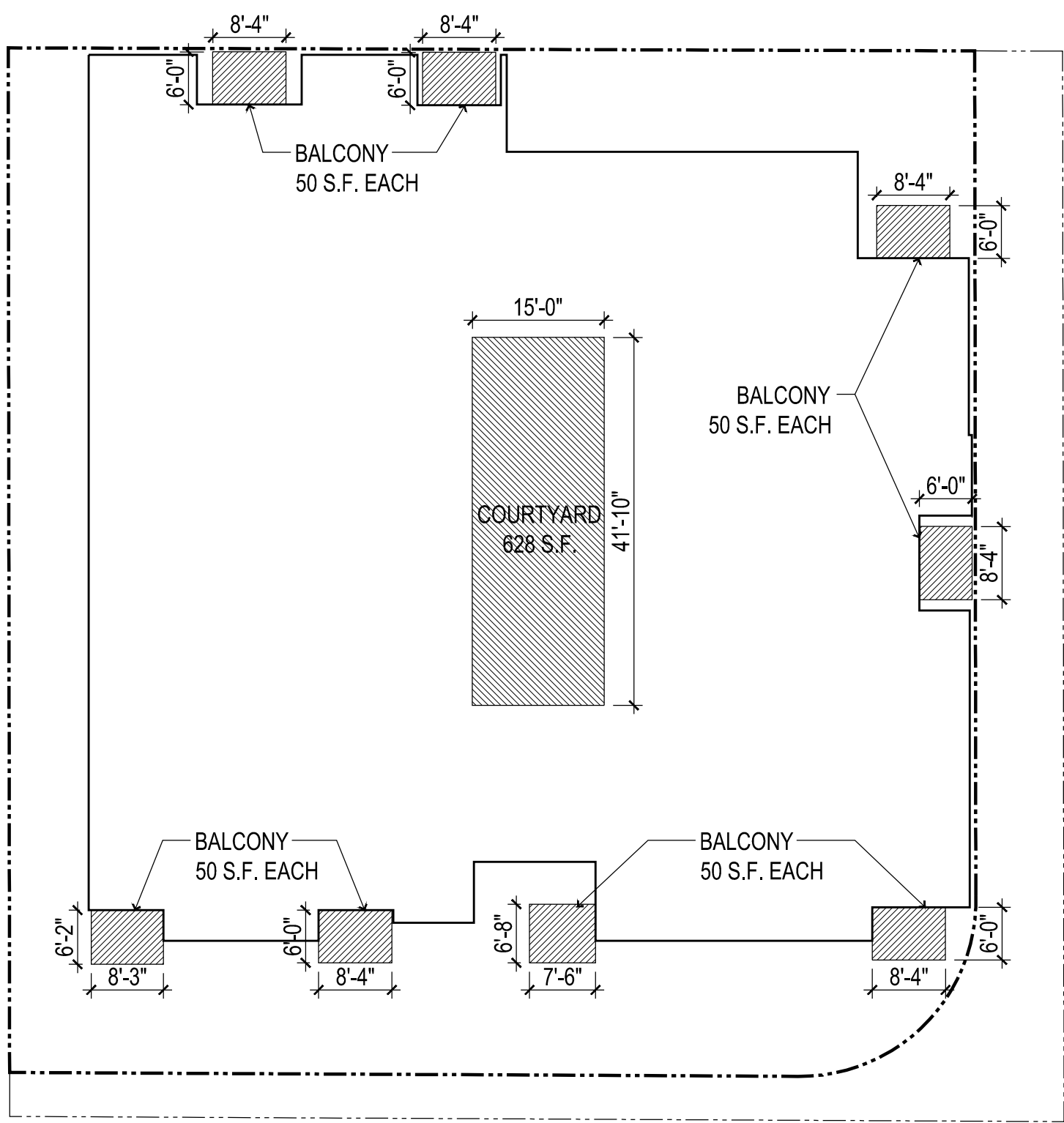
1" = 10'

Sheet

1 OF 1

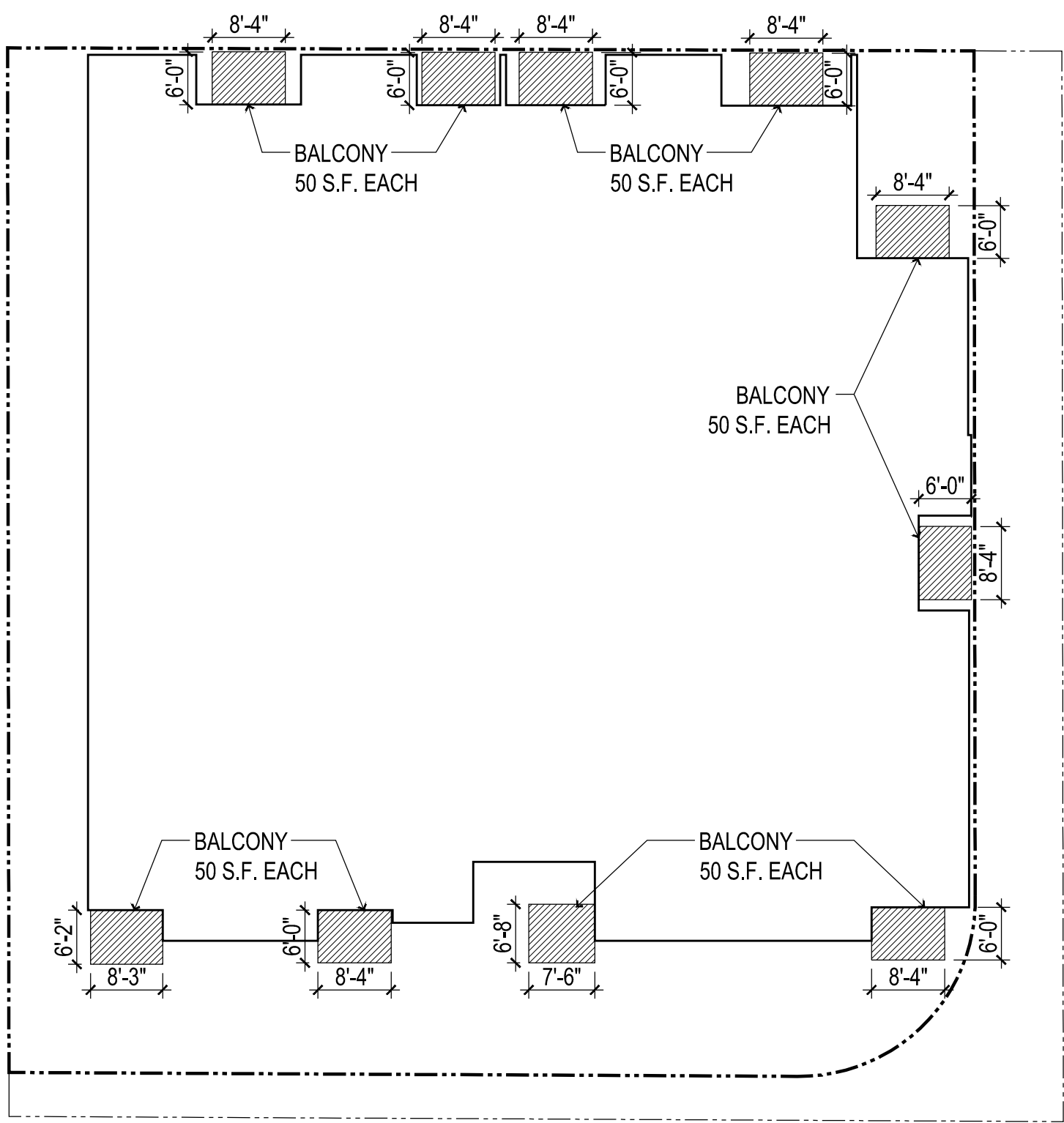
EXHIBIT "A"
Page No. 2 of 24
Case No. ADM-2024-5922-DB-HCA-RED1





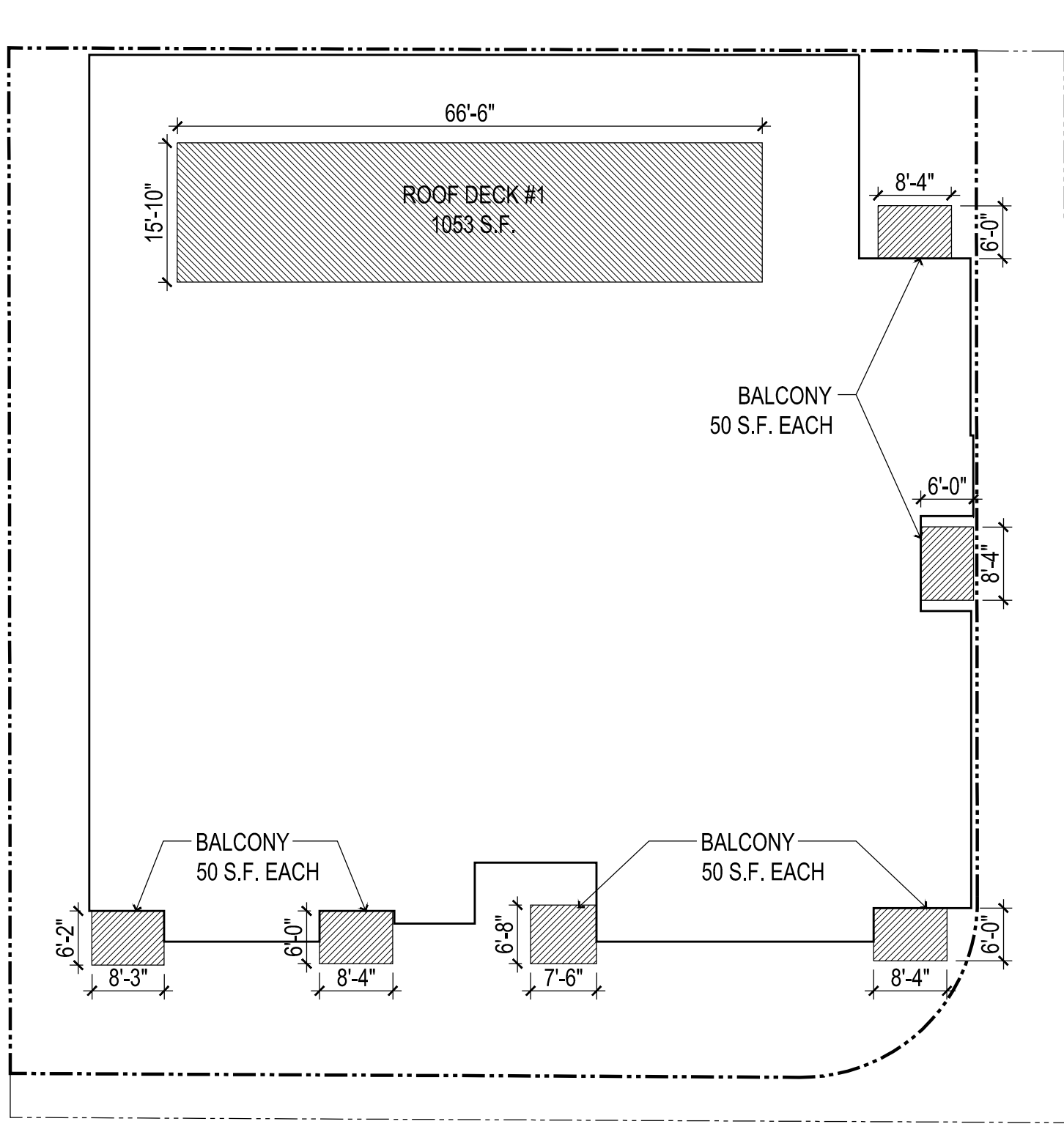
SECOND FLOOR

PRIVATE OPEN SPACE = 8 X 50 S.F. = 400 S.F.
COMMON OPEN SPACE = 628 S.F.
TOTAL = 1028 S.F.



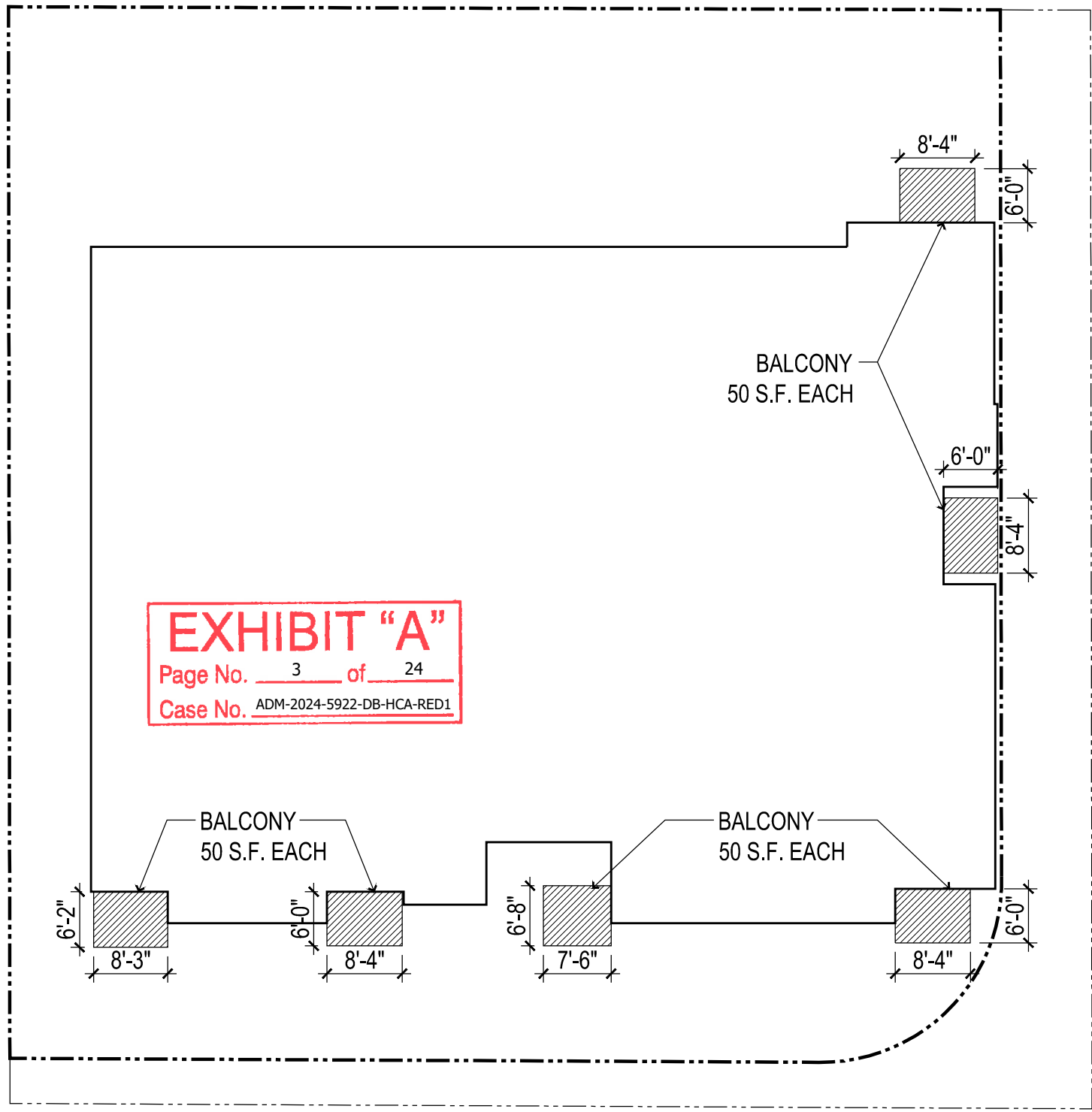
THIRD FLOOR

PRIVATE OPEN SPACE = 10 X 50 S.F. = 500 S.F.



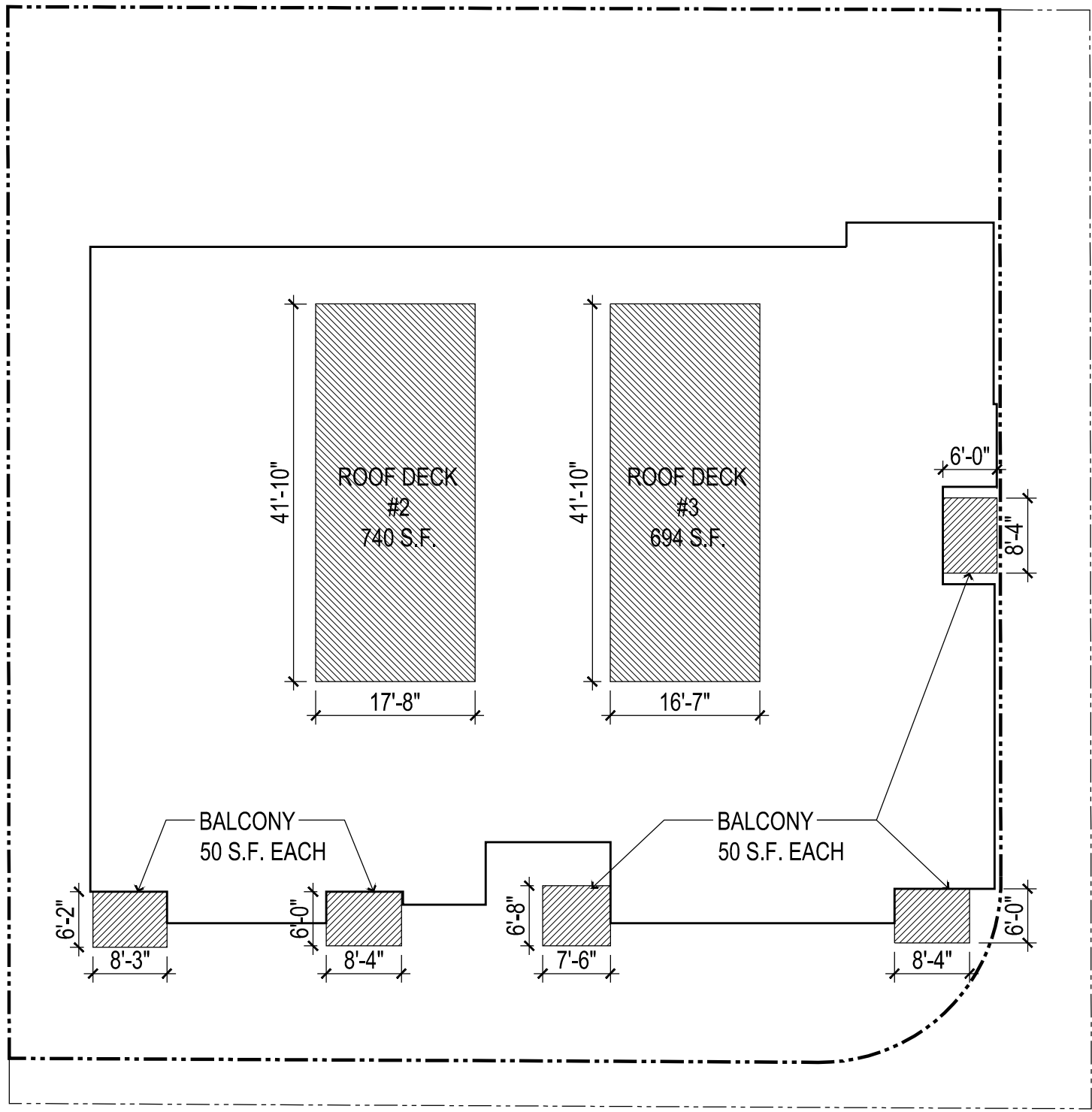
FOURTH FLOOR

PRIVATE OPEN SPACE = 6 X 50 S.F. = 300 S.F.
COMMON OPEN SPACE = 1053 S.F.
TOTAL = 1353 S.F.



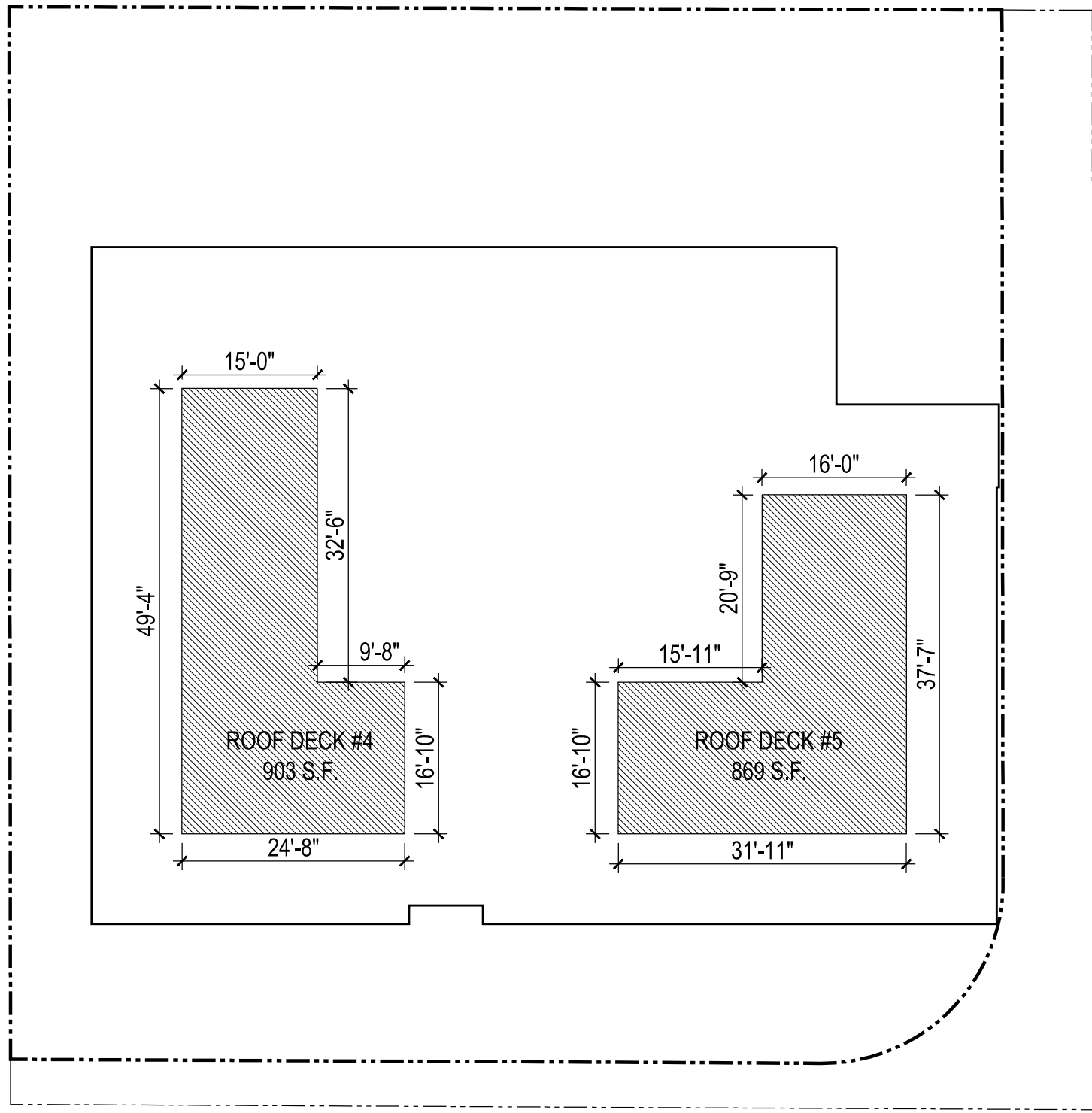
FIFTH FLOOR

PRIVATE OPEN SPACE = 6 X 50 S.F. = 300 S.F.



SIXTH FLOOR

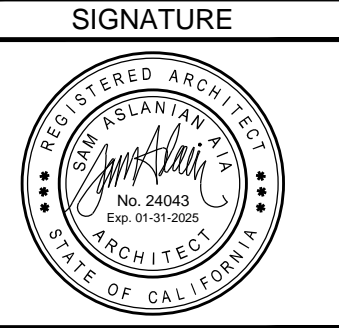
PRIVATE OPEN SPACE = 5 X 50 S.F. = 250 S.F.
COMMON OPEN SPACE = 740 + 694 = 1434 S.F.
TOTAL = 1684 S.F.



ROOF

COMMON OPEN SPACE = 903 + 869 = 1772 S.F.

**SAM ASLANIAN
ARCHITECT**
19951 TURNBERRY DRIVE
TARZANA CA 91366
TEL: 818.383.3237
FAX: 818.301.2703
email: sam@aslanianarchitects.com
www.aslanianarchitects.com



OWNER
MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6607

CONSULTANT

PROJECT TITLE
**63 UNIT
APARTMENT BUILDING**
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS

DATE	ISSUED FOR

NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-11-2024
DRAWN
CHECKED

PROJECT
**63 UNIT APARTMENT
BUILDING**

SHEET TITLE
**OPEN SPACE
DIAGRAM**

SHEET	OF
A 1.1	

SAM ASLANIAN
ARCHITECT
19951 TURNBERRY DRIVE
TARZANA CA 91356
TEL: 818.383.3237
FAX: 818.301.2703
email: sam@aslanianarchitects.com
www.aslanianarchitects.com

SIGNATURE



OWNER

MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6607

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS

DATE	ISSUED FOR

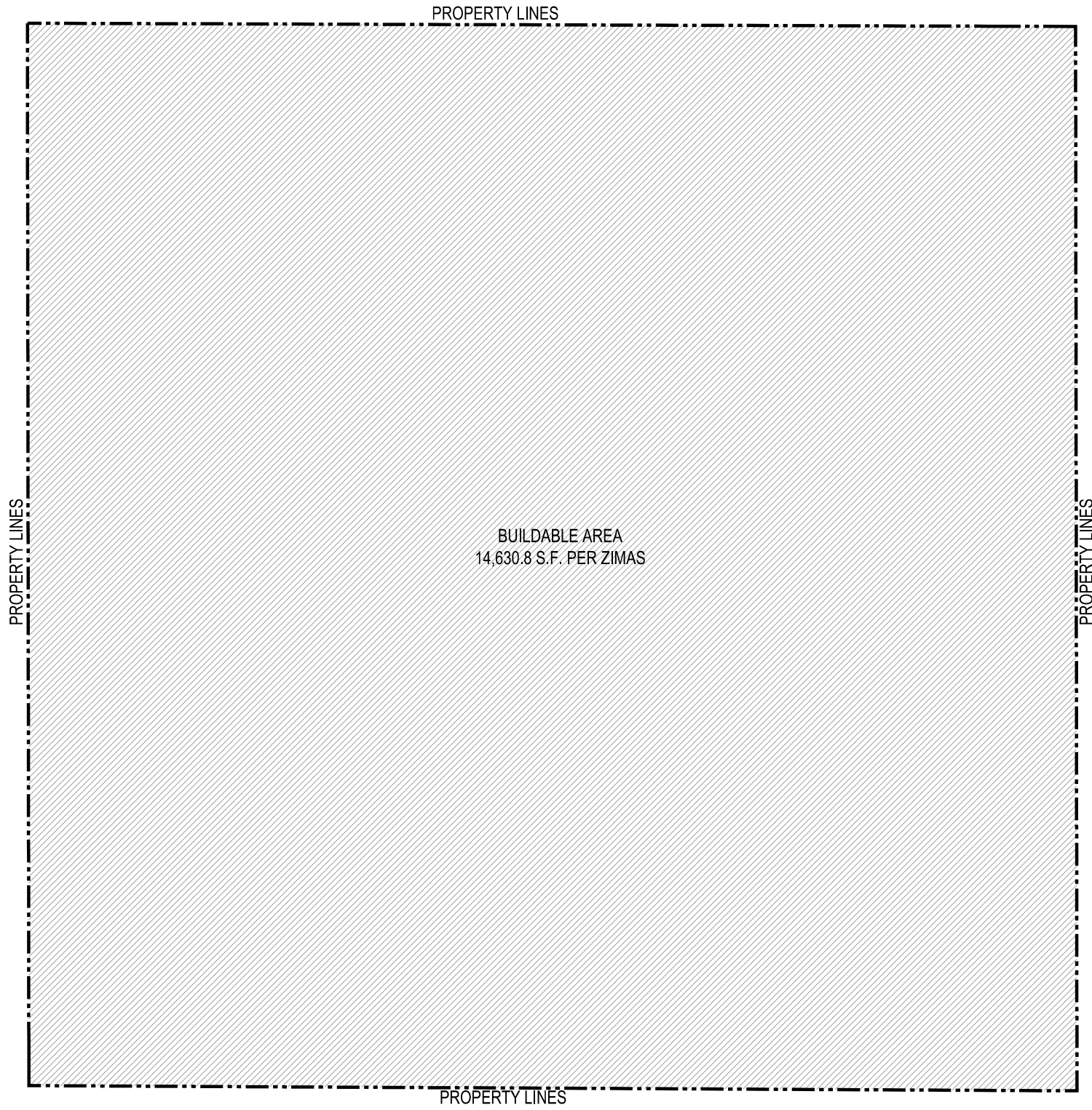
NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-11-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT
BUILDING

SHEET TITLE
ZONING FLOOR
AREA DIAGRAM

SHEET	OF
A1.2a	



14,630.8 S.F. X 3.5 = 51,207.8 S.F.

BUILDABLE AREA& F.A.R. DIAGRAM
MAX. FLOOR AREA ALLOWED

PROPOSED FLOOR AREA:
FIRST FLOOR 3,285 S.F. + SECOND FLOOR 8,018 S.F. + THIRD
FLOOR 8,477 S.F. + FOURTH FLOOR 6,256 S.F. + FIFTH FLOOR
6,256 S.F. + SIXTH FLOOR 4,439 S.F. = 36,731 S.F.

SIGNATURE



OWNER

MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6607

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE REVISIONS

DATE ISSUED FOR

NOTES

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT IS PROHIBITED. THE TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THE CONSULTANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE

09-11-2024

DRAWN

CHECKED

PROJECT

63 UNIT APARTMENT
BUILDING

SHEET TITLE

BICYCLE PARKING
REQUIREMENTS

SHEET OF

A 1.3

ORDINANCE NO. 182386

An ordinance amending Sections 12.03, 12.21, and 12.21.1 of the Los Angeles Municipal Code (LAMC) to extend bicycle parking requirements to some multi-family residential developments; to increase the levels of bicycle parking required under the current code for new developments and additions to commercial, institutional, and industrial uses; to expand bicycle parking requirements to include commercial, industrial, and manufacturing uses of less than 10,000 sq. ft.; to define acceptable locations for bicycle parking; to require that both short-term and long-term bicycle parking be provided; to improve design standards; to amend the amount of bicycle parking that may be substituted for automobile parking; and to provide rules for the installation of bicycle parking within the public right-of-way by private businesses.

THE PEOPLE OF THE CITY OF LOS ANGELES
DO ORDAIN AS FOLLOWS:

Section 1. Section 12.03 of the Los Angeles Municipal Code is amended to add the following terms in proper alphabetical order:

BICYCLE CAGE. A locked bicycle parking area that has been fenced off to prohibit access by the general public. Bicycle cages shall contain bicycle racks that provide a means of securing the bicycle frame at two points to a securely anchored rack.

BICYCLE CORRAL. Any on-street public parking space in which multiple short-term bicycle parking racks have been installed.

BICYCLE ROOM. A locked bicycle parking area that has been walled off to prohibit access by the general public. Bicycle rooms shall contain bicycle racks that provide a means of securing the bicycle frame at two points to a securely anchored rack.

Sec. 2. The definition of "Floor Area" in Section 12.03 of the Los Angeles Municipal Code is amended to read as follows:

FLOOR AREA. The area in square feet confined within the exterior walls of a Building, but not including the area of the following: exterior walls, stairways, shafts, rooms housing Building-operating equipment or machinery, parking areas with associated driveways and ramps, space dedicated to bicycle parking, space for the landing and storage of helicopters, and Basement storage areas.

Buildings on properties zoned RA, RE, RS, and R1, except properties in the Coastal Zone which are not designated as Hillside Area, are subject to the definition of Residential Floor Area.

Sec. 3. Subdivision 4 of Subsection A of Section 12.21 of the Los Angeles Municipal Code is amended to read as follows:

4. **Off-Street Automobile Parking Requirements.** A garage or an off-street automobile parking area shall be provided in connection with and at the time of the erection of each of the buildings or structures hereinafter specified, or at the time such buildings or structures are altered, enlarged, converted or increased in capacity by the addition of dwelling units, guest rooms, beds for institutions, floor area or seating capacity. The parking space capacity required in said garage or parking area shall be determined by the amount of dwelling units, guest rooms, beds for institutions, floor area or seats so provided, and said garage or parking area shall be maintained thereafter in connection with such buildings or structures.

New or existing automobile parking spaces required by the Code for all uses may be replaced by bicycle parking at a ratio of one automobile parking space for every four bicycle parking spaces provided. Notwithstanding the foregoing, no more than 20 percent of the required automobile parking spaces for nonresidential uses shall be replaced at a site. Automobile parking spaces for nonresidential projects or buildings located within 1,500 feet of a portal of a fixed rail transit station, bus station, or other similar transit facility, as defined by Section 12.24.Y, may replace up to 30 percent of the required automobile parking spaces with bicycle parking. For buildings with less than 20 required automobile parking spaces, up to 4 parking spaces may be replaced.

Residential buildings may replace 10 percent of the required automobile parking with bicycle parking. Automobile parking spaces for residential projects or buildings located within 1,500 feet of a portal of a fixed rail transit station, bus station, or other similar transit facility as defined by Section 12.24.Y may replace up to 15 percent of the required automobile parking spaces with bicycle parking. If a residential building has applied for and received a density bonus under Section 12.22.A.25, 30 percent of the required automobile parking may be replaced. In such cases, the replacement of automobile parking with bicycle parking shall be implemented in lieu of the parking options in Section 12.22.A.25(d).

Bicycle parking installed pursuant to this Section may be installed in existing automobile parking spaces and shall not be considered to violate the maintenance of existing parking as defined by Section 12.21.A.4(m). The ratio of short- to long-term bicycle parking provided for pursuant to this Section shall be provided in accordance with the requirements set forth for each use as defined by Section 12.21.A.16(a). If additional bicycle parking is provided beyond what is required by Section 12.21.A.16, the ratio of short-term to long-term bicycle parking provided may be determined by the business or property owner.

(a) Land Uses.

(1) **Residential.** For all residential buildings containing more than three dwelling units or more than five guest rooms, long- and short-term bicycle parking shall be provided. Long-term bicycle parking shall be provided at a rate of one per dwelling unit or guest room. In addition, short-term bicycle parking shall be provided at a rate of one per ten dwelling units or guest rooms. In such cases, a minimum of two short-term bicycle parking spaces shall be provided.

(i) In instances where a building may contain both dwelling units and guest rooms, the sum of dwelling units and guest rooms shall be used to determine the amount of long- and short-term parking. Any combination that results in more than five combined dwelling units and guest rooms will require bicycle parking.

(ii) Developments such as townhouses that include individually accessed private garages for each unit shall not be required to provide long-term bicycle parking.

(2) Commercial, Institutional, and Industrial Uses.

For all commercial, institutional, and industrial uses that require automobile parking under Subsections 12.21.A.4 (c), (d), (e), and (f), short- and long-term bicycle parking shall be provided as per Table 12.21.A.16(a)(2).

(i) For uses listed in Table 12.21.A.16(a)(2) a minimum of 2 short-term and 2 long-term bicycle parking spaces shall be provided.

(ii) After the first 100 bicycle parking spaces are provided for uses listed in Table 12.21.A.16(a)(2), additional spaces may be provided at the minimum required by the Los Angeles Green Building Code Article 99.05.106.4.

Table 12.21.A.16(a)(2) Required Bicycle Parking Spaces per building floor area as defined under Section 12.03

Land Use	Short-term Bicycle Parking	Long-term Bicycle Parking
Commercial Uses		
Office	1 per 10,000 sq. ft. (minimum 2)	1 per 5,000 sq. ft. (minimum 2)
Warehouse	1 per 10,000 sq. ft. (minimum 2)	1 per 10,000 sq. ft. (minimum 2)
Health Clubs	1 per 2,000 sq. ft. (minimum 2)	1 per 2,000 sq. ft. (minimum 2)
Restaurants and Bars, General	1 per 2,000 sq. ft. (minimum 2)	1 per 2,000 sq. ft. (minimum 2)

(2) Siting Requirements.

(i) **Location.** Required bicycle parking shall be provided on the same lot as the use for which it is intended to serve.

(ii) **Short-Term Bicycle Parking.** For new construction, short-term bicycle parking shall be located outside buildings. For existing buildings where exterior space is inadequate, short-term bicycle parking may be located inside the building or on the level of the parking garage closest to the ground floor with a direct access to a public street.

(a) For new developments, short-term bicycle parking shall be located to maximize visibility from the main entrance. For existing buildings, where short-term bicycle parking is located within buildings or parking garages, signage is required at each building entrance as per Section 12.21.A.16(d)(4).

(b) Short-term bicycle parking spaces shall be located no farther than 50 feet of walking distance from a main pedestrian entrance to the nearest off-street automobile parking space, whichever is closer.

(c) For buildings with more than one main pedestrian entrance, short term bicycle parking shall be split evenly among all main pedestrian entrances.

(iii) **Long-Term Bicycle Parking.** Long-term bicycle parking shall be located in such a manner to allow access for bicyclists entering and leaving the site.

(a) Long-term bicycle parking inside a parking garage shall be located along the shortest walking distance to the nearest pedestrian entrance of the building from the parking garage.

(b) Long-term bicycle parking inside a parking garage shall be located on the level of the parking garage closest to the ground floor with, and must provide direct access to, a public street.

(iv) **Combination of Uses.** Where there is a combination of uses on a lot, long-term bicycle parking shall be provided in separate bicycle parking facilities when a separate pedestrian entrance is provided for each use. In these cases, bicycle parking shall be located so that it is conveniently accessible for each use.

(v) **Multiple Buildings.** For a development site with multiple buildings, required bicycle parking shall be sited in smaller bicycle parking facilities located near the pedestrian entries for each building, rather than in one centralized facility in accordance with the rules for locating bicycle parking provided in this Paragraph.

(3) **Lighting.** Adequate lighting shall be provided to ensure safe access to bicycle parking facilities in accordance with Section 12.21.A.5(k).

(4) **Signage.** Where bicycle parking is not clearly visible from the street, legible reflectorized signs shall be permanently posted at the street entrances to each site indicating the availability and location of bicycle parking within the site. All signs must comply with Section 14.4.7.

(f) Additional Requirements and Allowances.

(1) Bicycle Parking in the Public Right-of-Way.

(i) Short-term bicycle parking spaces located immediately in front of a site within the public right-of-way may be counted towards the short-term bicycle parking requirements of said site.

(ii) Business operators or property owners may install and maintain their own racks within the public right-of-way unless a City owned rack already exists.

(a) Business operators or property owners are responsible for applying for a permit with the Bureau of Engineering to install short-term bicycle parking within the public right-of-way. A Bureau of Engineering permit may be issued only after the business operator or property owner receives issuance of plan approval or a permit by the Department of Transportation pursuant to LAMC Section 85.04.

Restaurant, Small (floor area less than 1,000 sq. ft.)	2 per restaurant	2 per restaurant
Retail Stores, General	1 per 2,000 sq. ft. (minimum 2)	1 per 2,000 sq. ft. (minimum 2)
Retail, Furniture Stores	1 per 10,000 sq. ft. (minimum 2)	1 per 10,000 sq. ft. (minimum 2)
Trade Schools, Private Universities, and Private Colleges	1 per 500 square feet or 1 per 50 fixed seats whichever is greater (minimum 2)	1 per 1,000 square feet or 1 per 100 fixed seats whichever is greater (minimum 2)
Hotels and Hostels	1 per 20 guest rooms (minimum 2)	1 per 20 guest rooms (minimum 2)
All other Commercial Uses	1 per 10,000 sq. ft. (minimum 2)	1 per 10,000 sq. ft. (minimum 2)
Institutional Uses	1 per 10,000 sq. ft. (minimum 2)	1 per 5,000 sq. ft. (minimum 2)
All Institutional Uses	1 per 10,000 sq. ft. (minimum 2)	1 per 10,000 sq. ft. (minimum 2)
Industrial Uses	1 per 10,000 sq. ft. (minimum 2)	1 per 10,000 sq. ft. (minimum 2)
All Industrial Uses	1 per 10,000 sq. ft. (minimum 2)	1 per 10,000 sq. ft. (minimum 2)
Other Uses		
Auditoriums	1 per 350 square feet or 1 per 50 fixed seats whichever is greater (minimum 2)	1 per 700 square feet or 1 per 100 fixed seats whichever is greater (minimum 2)
Private Elementary Schools, Private High Schools, and Charter Schools	4 per classroom (minimum 2)	1 per 10 classrooms (minimum 2)

(3) **Combination of Uses.** Where there is a combination of uses on a lot, the number of bicycle parking spaces required shall be the sum of the requirements of the various uses. The exceptions provided in Section 12.21.A.4(i) for automobile parking shall also apply to bicycle parking.

(4) **City Owned and Leased Buildings and Parking Lots.** In all buildings or parking lots used by the City of Los Angeles for government purposes, including government office buildings, both short-term and long-term bicycle parking shall be provided at a rate of 10 percent of the required parking available on the site. However, short- and long-term bicycle parking shall be no less than five spaces each for the entire site.

Buildings and lots owned by the City of Los Angeles that are leased for private uses shall meet the bicycle parking required for commercial uses as detailed in Table 12.21.A.16(a)(2).

(5) **Parks.** In Neighborhood Recreation Sites, Community Recreation Sites, Regional Parks, and School Playgrounds, as defined in Section 1 of the Service Systems Element – Public Recreation Plan of the City's General Plan, short-term bicycle parking shall be provided at a rate of 10 percent of the required automobile parking with a minimum of 5 short-term bicycle parking spaces. In Neighborhood Recreation Sites, Community Recreation Sites, Regional Parks, and School Playgrounds where no automobile parking is provided, at least 5 short-term bicycle parking spaces will be provided, except that in park space of less than 2 acres in which there are no recreational facilities requiring building permits, no short term bicycle parking shall be required. Long-term bicycle parking shall be provided as required in the Green Building Code Article 99.05.106.4.

(6) **Unmanned Facilities.** No bicycle parking shall be required for unmanned facilities, such as stand-alone public restrooms in parks or unmanned cellular antenna facilities.

(b) **Fractions.** When the application of these regulations results in the requirement of a fractional bicycle space, any fraction up to and including one-half may be disregarded, and any fraction over one-half shall be construed as requiring one bicycle parking space.

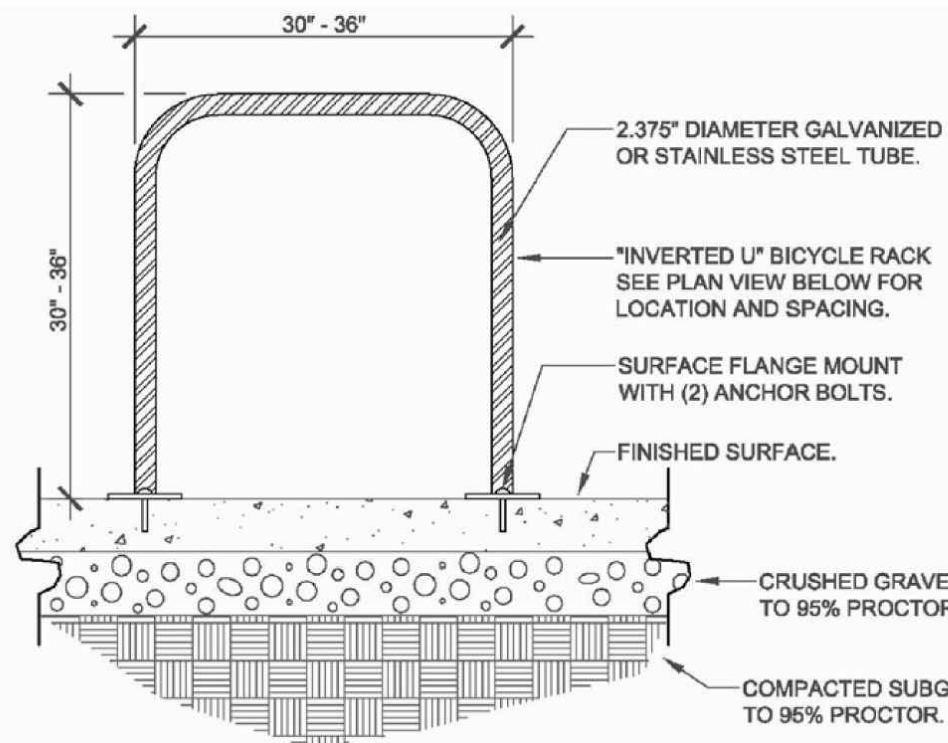
(c) **Change of Use.** Buildings undergoing a change of use shall not be required to provide bicycle parking. This includes adaptive reuse projects pursuant to Section 12.22.A.26.

(d) Bicycle Parking Requirements.

(1) **Short-Term Bicycle Parking.** Short-term bicycle parking shall consist of bicycle racks that support the bicycle frame at two points. Racks that support only the wheel of the bicycle are not permissible.

(i) Racks shall allow for the bicycle frame and at least one wheel to be locked to the racks.

(ii) The bicycle rack shall allow for the use of a cable as well as a U-shaped lock.



U LOCKING BIKE RACK FOR
LONG TERM AND SHORT
TERM BIKE PARKING

N.T.S.

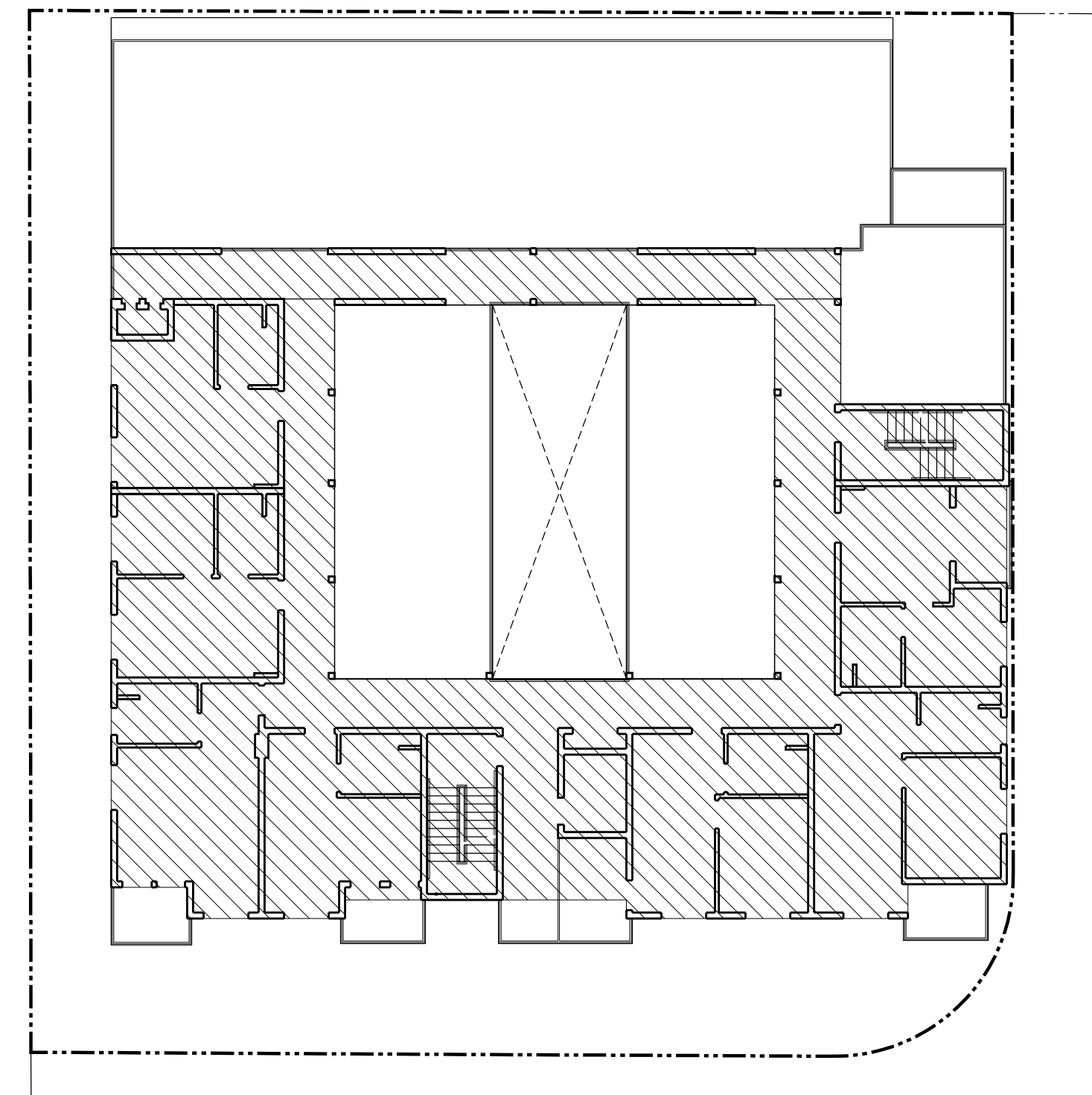
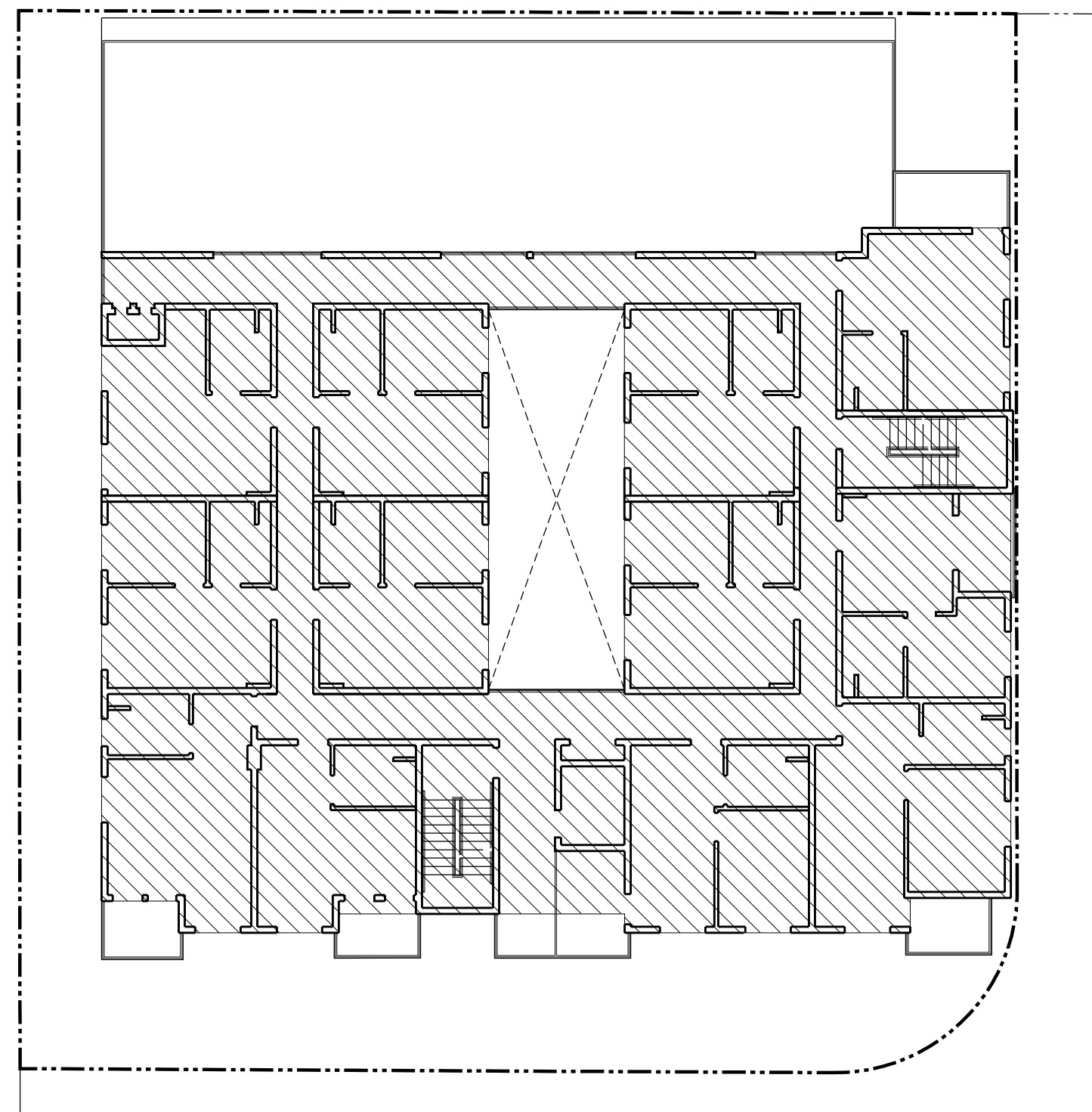
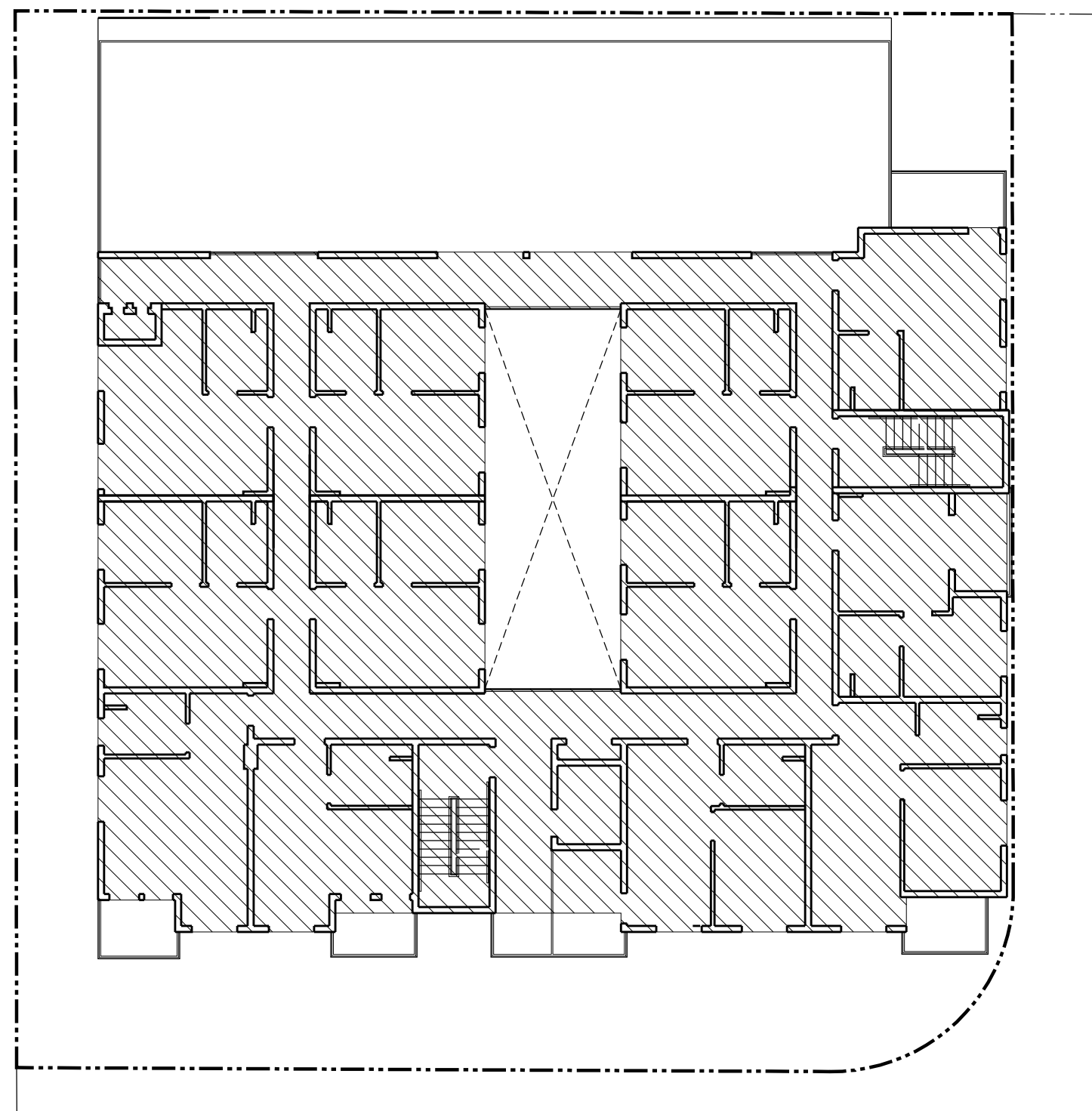
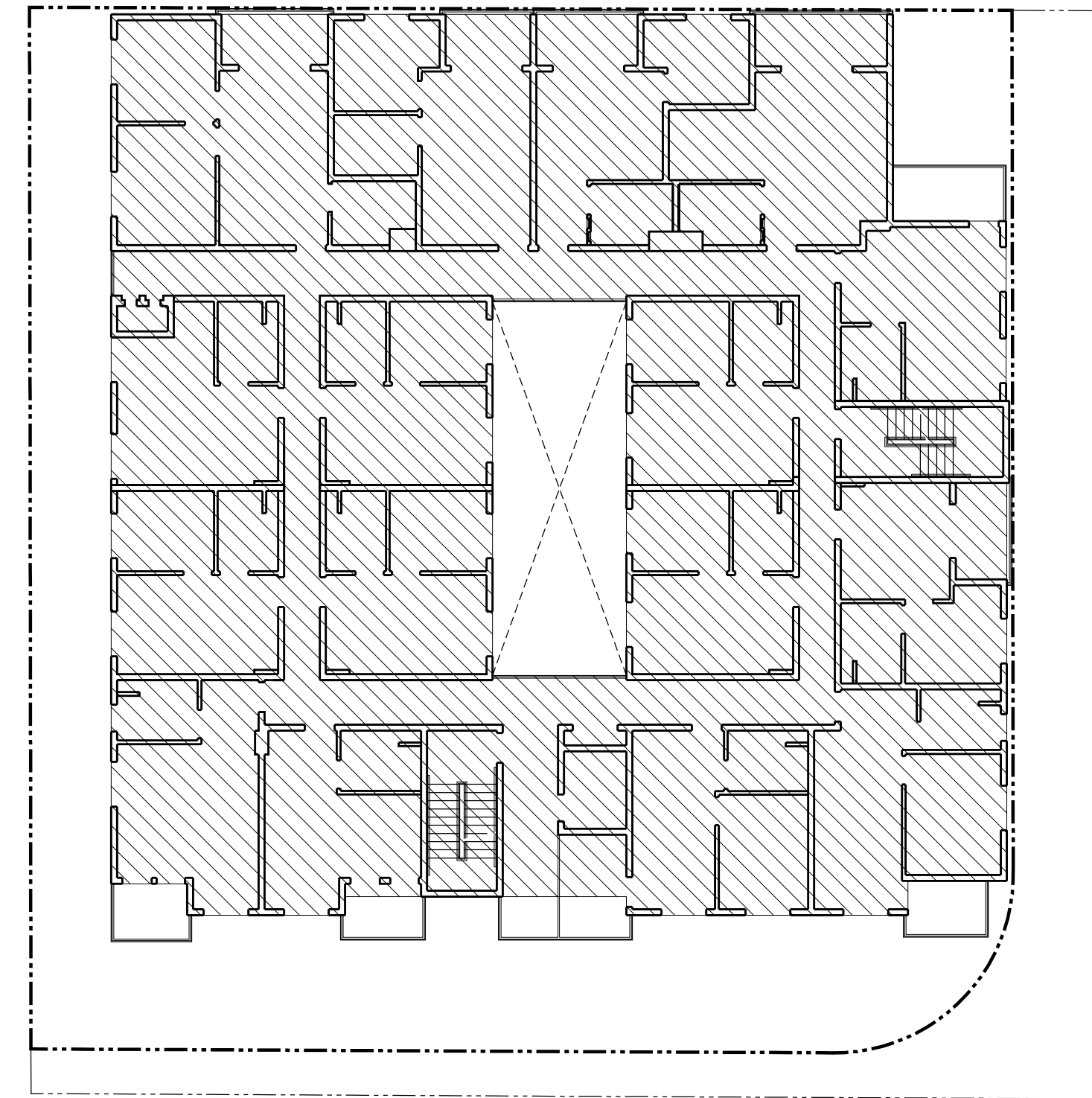
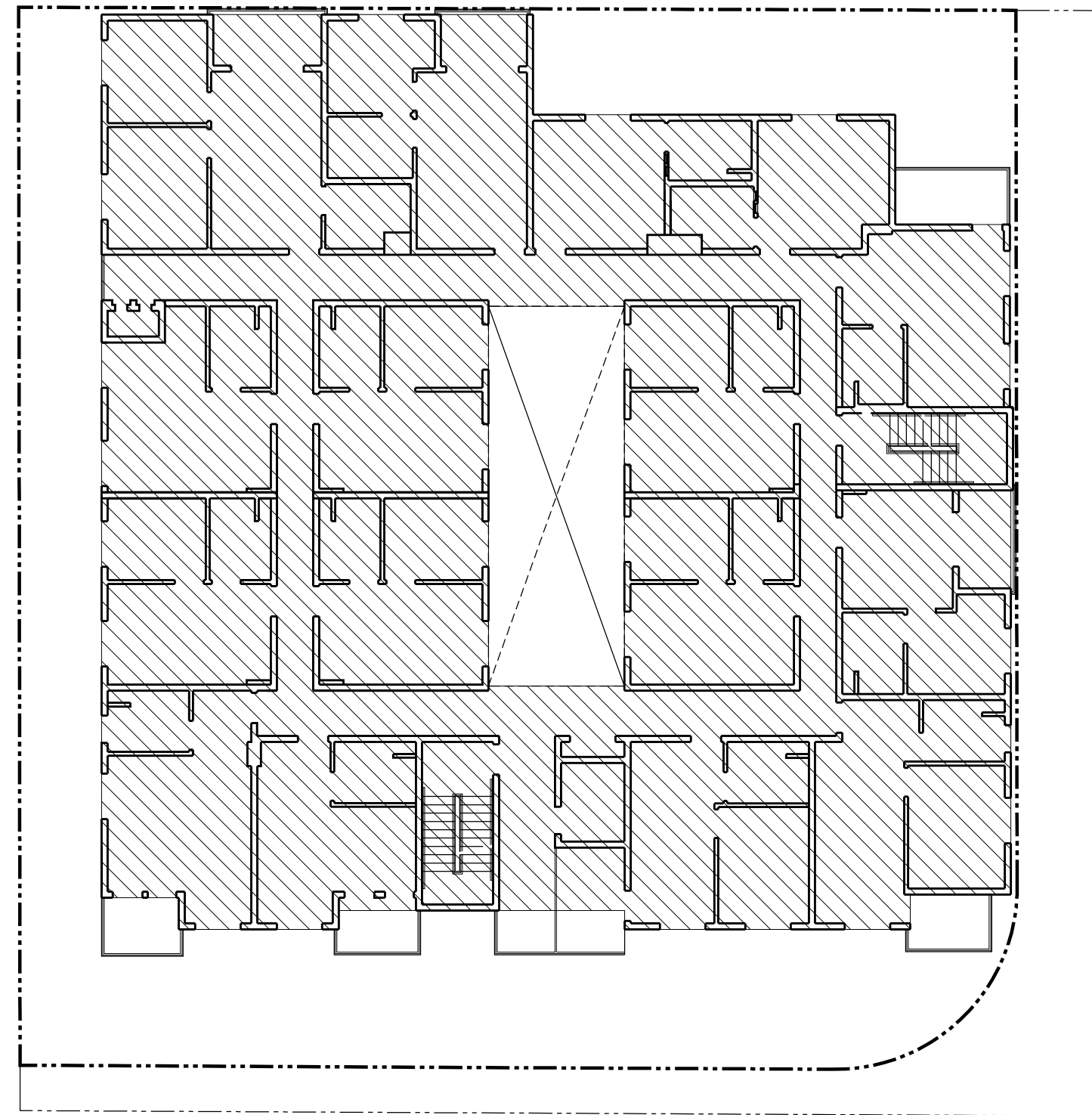
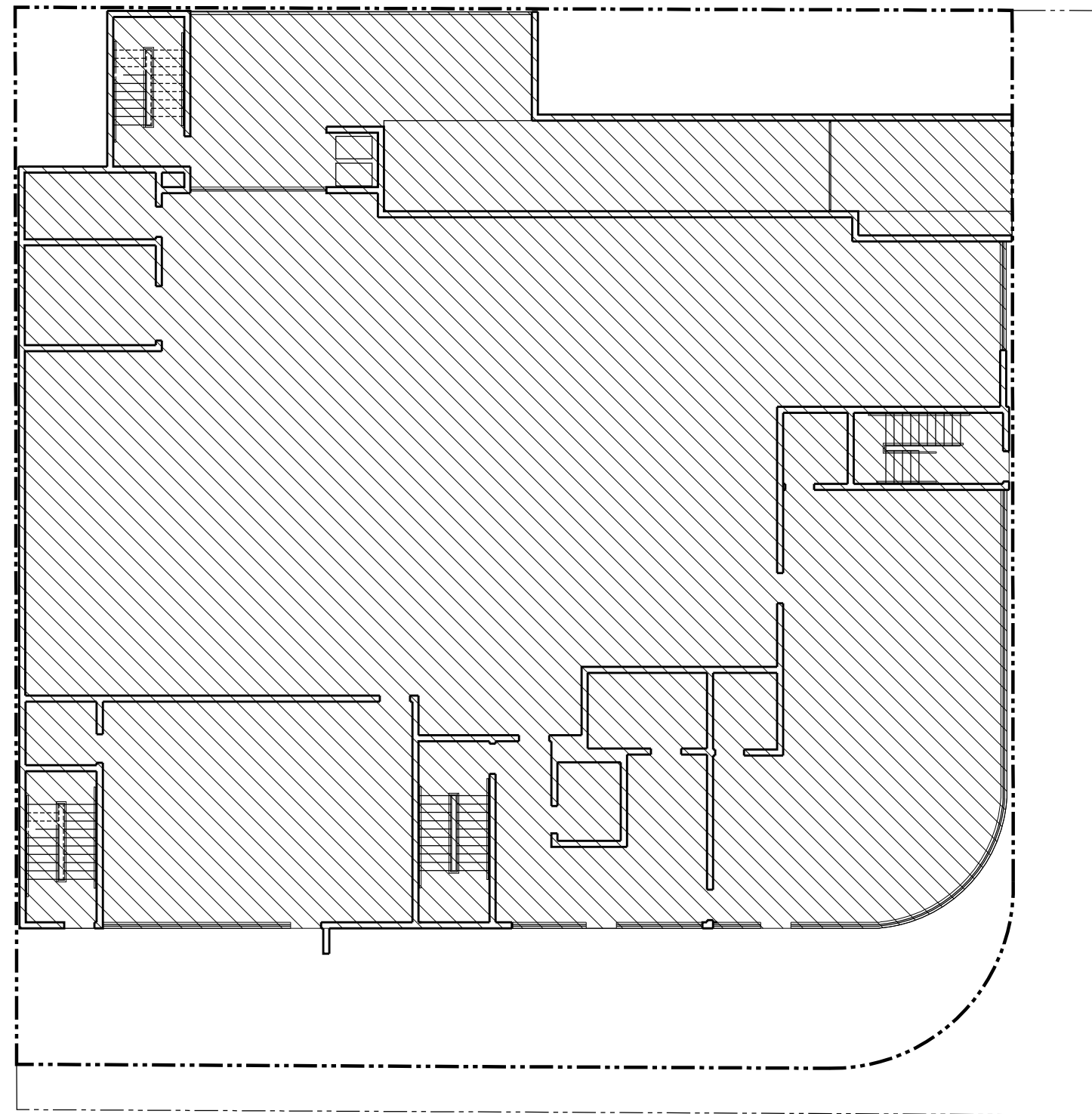


EXHIBIT "A"
Page No. 7 of 24
Case No. ADM-2024-5922-DB-HCA-RED1

**SAM ASLANIAN
ARCHITECT**
19951 TURNBERRY DRIVE
TARZANA CA 91356
TEL: 818.383.3237
FAX: 818.301.2703
email: sam@aslanianarchitects.com
www.aslanianarchitects.com

SIGNATURE



OWNER

MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6607

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS

DATE	ISSUED FOR

NOTES

[illegible]

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT BUILDING

SHEET TITLE
FLOOR AREA PER BUILDING CODE DIAGRAMS

SHEET	OF
A1.11	

DATE	REVISIONS

DATE	ISSUED FOR

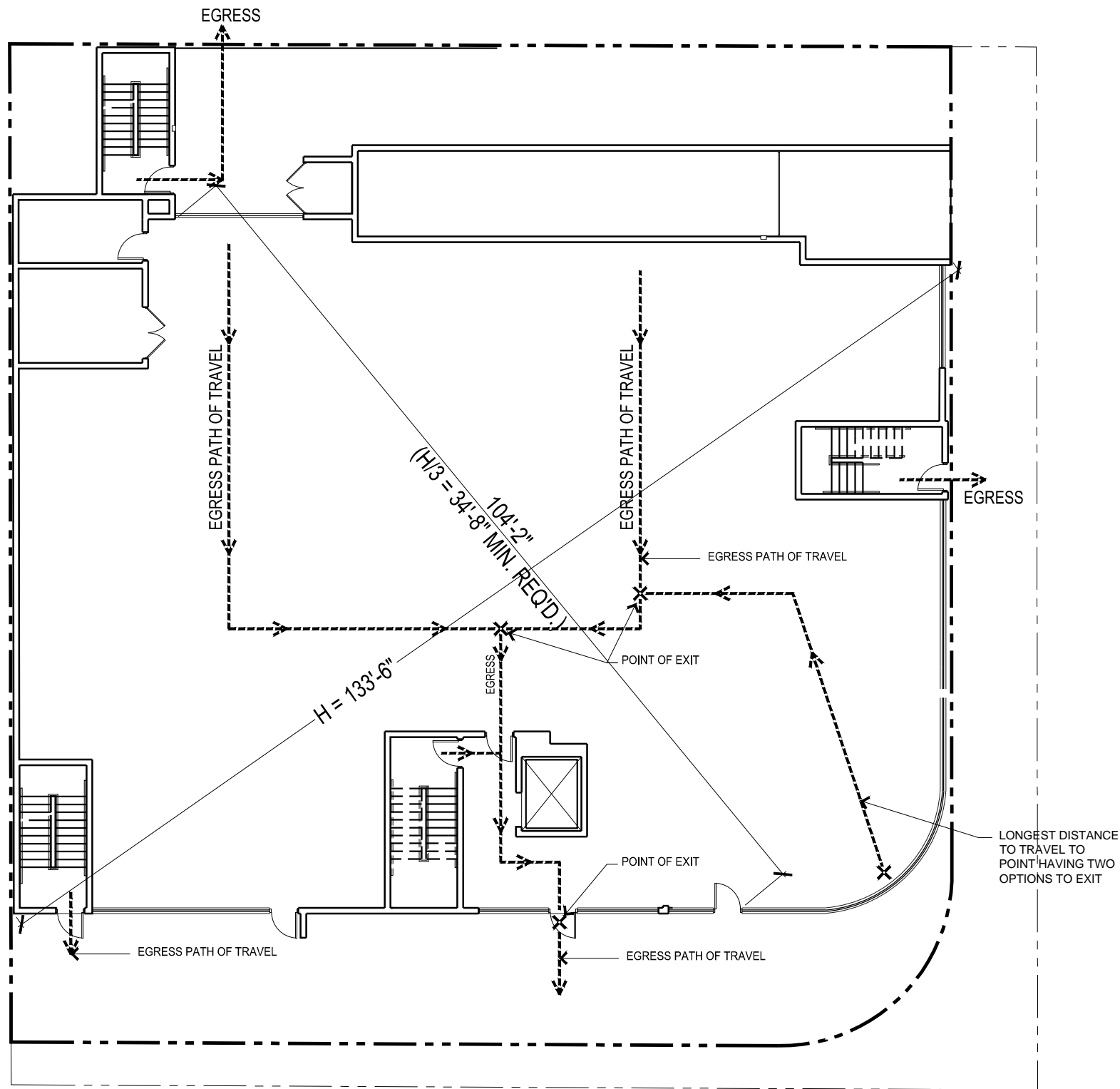
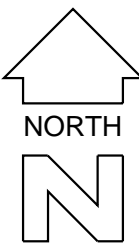
NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS. SPECIFICATIONS AND DESIGN INTENT THEY CONVEY. SO FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-19-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT BUILDING

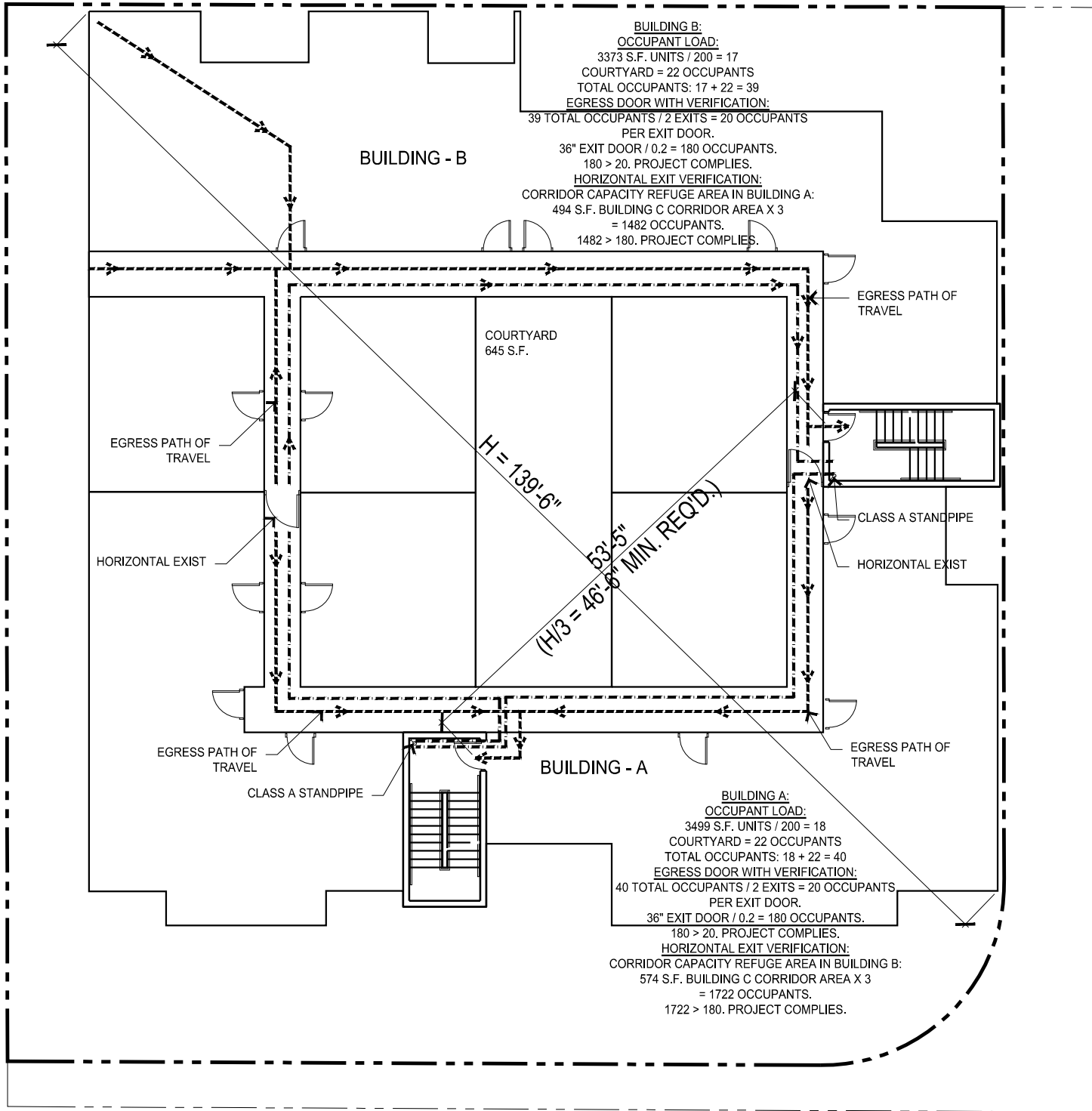
SHEET TITLE
EGRESS DIAGRAM

SHEET	OF
A2.2	



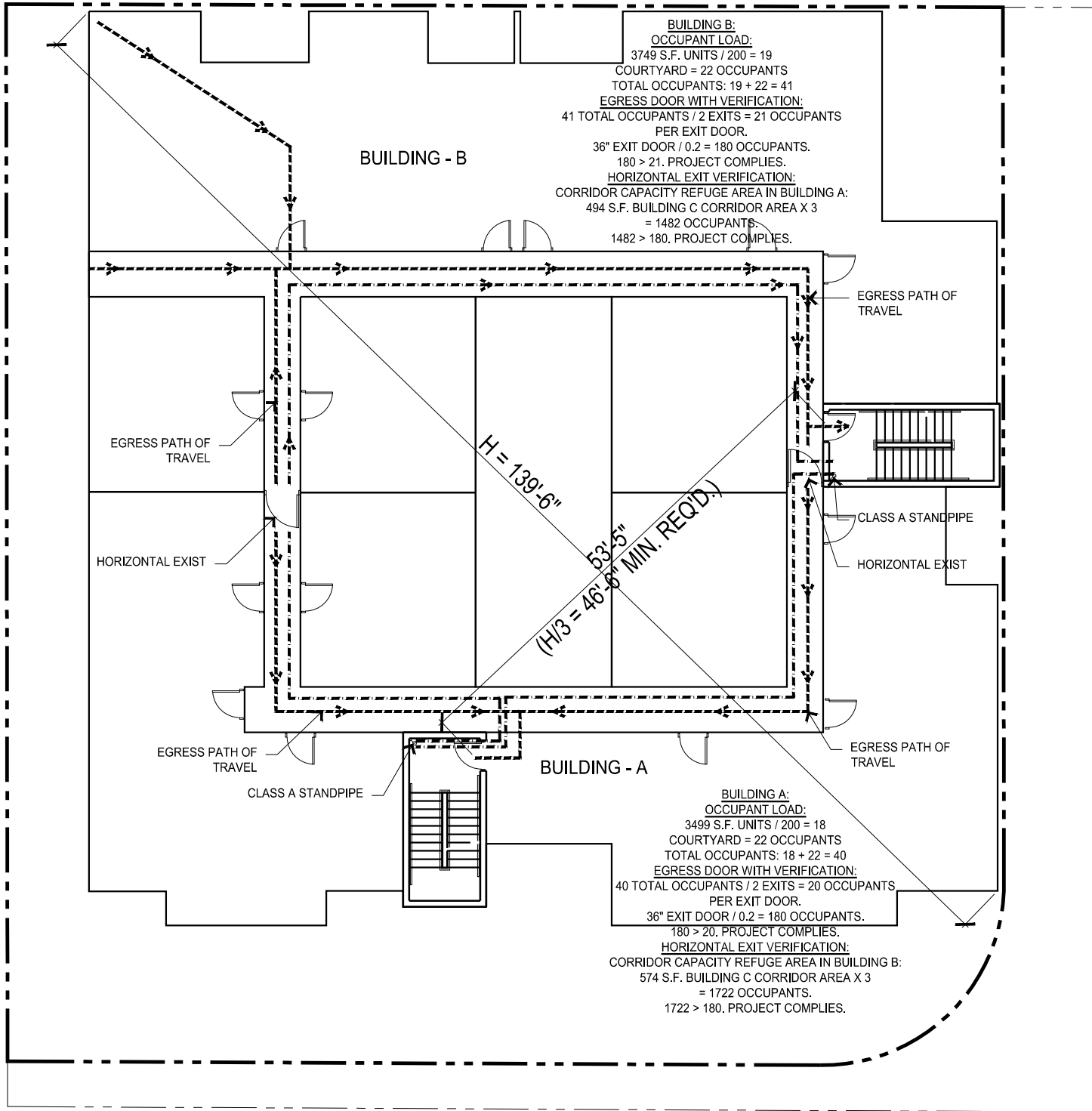
FIRST FLOOR PLAN

1/16" = 1'-0"



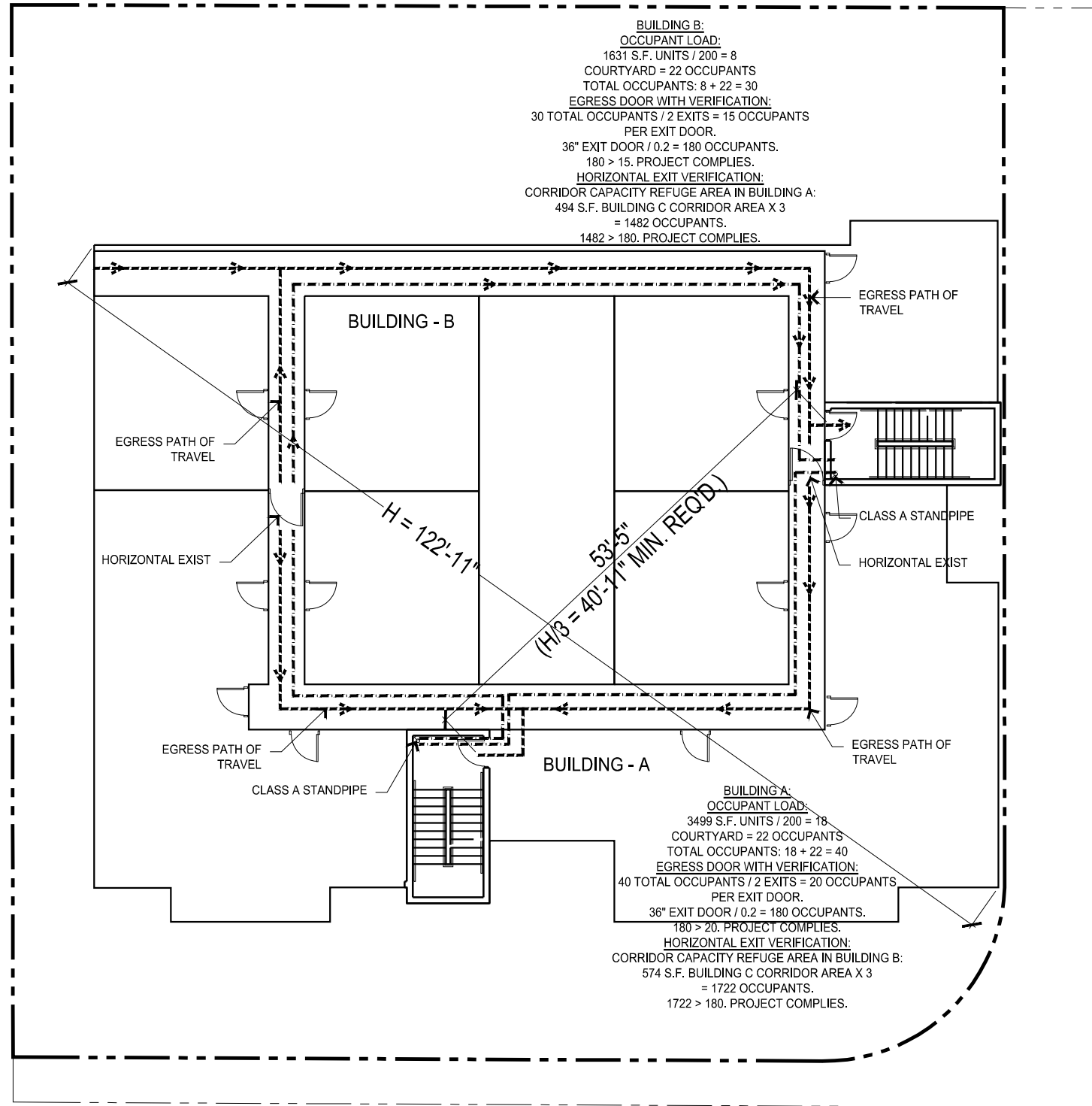
SECOND FLOOR PLAN

1/16" = 1'-0"



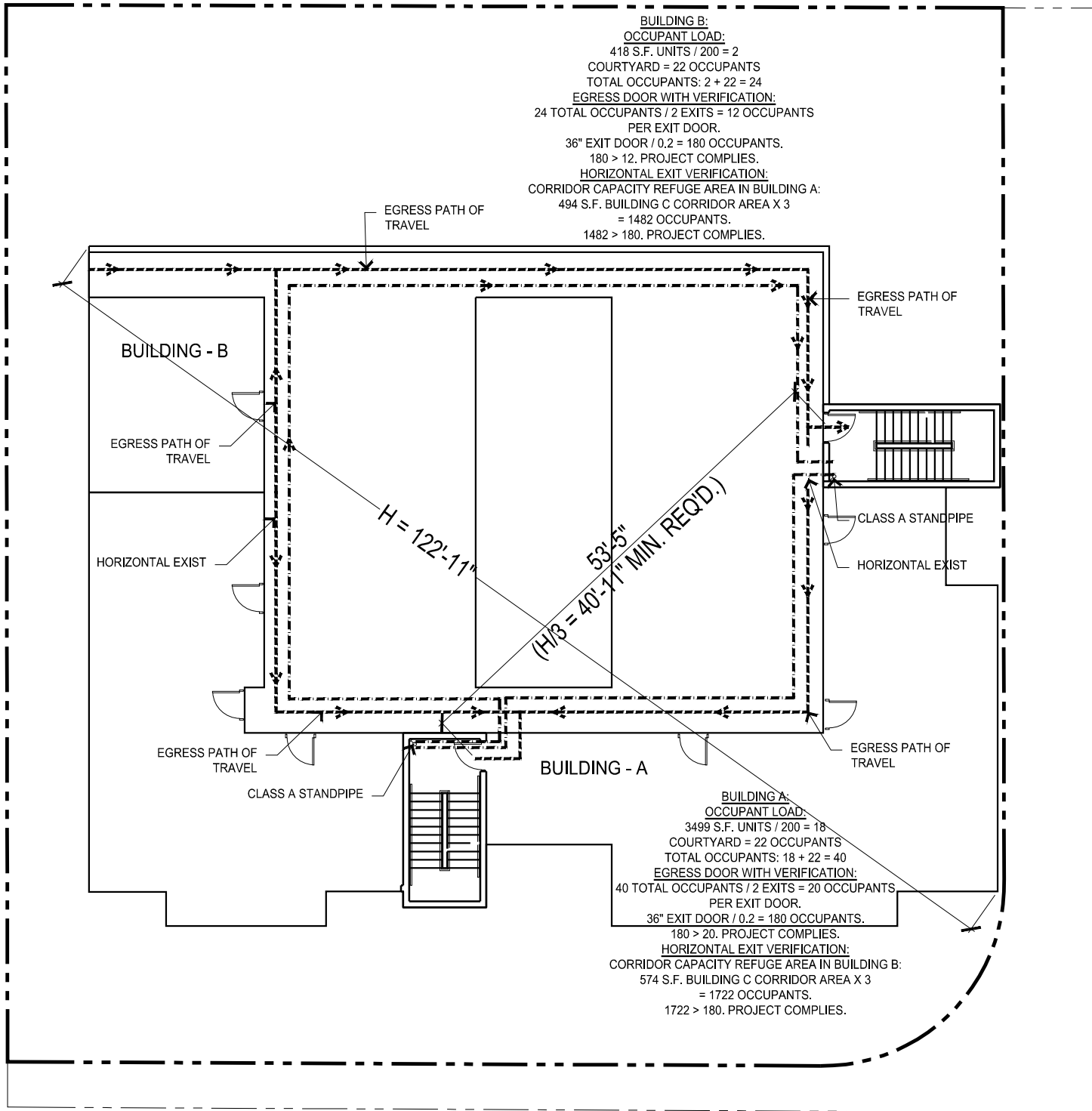
THIRD FLOOR PLAN

1/16" = 1'-0"



FOURTH FLOOR PLAN

1/16" = 1'-0"



SIXTH FLOOR PLAN

1/16" = 1'-0"

DATE	ISSUED FOR

NOTES

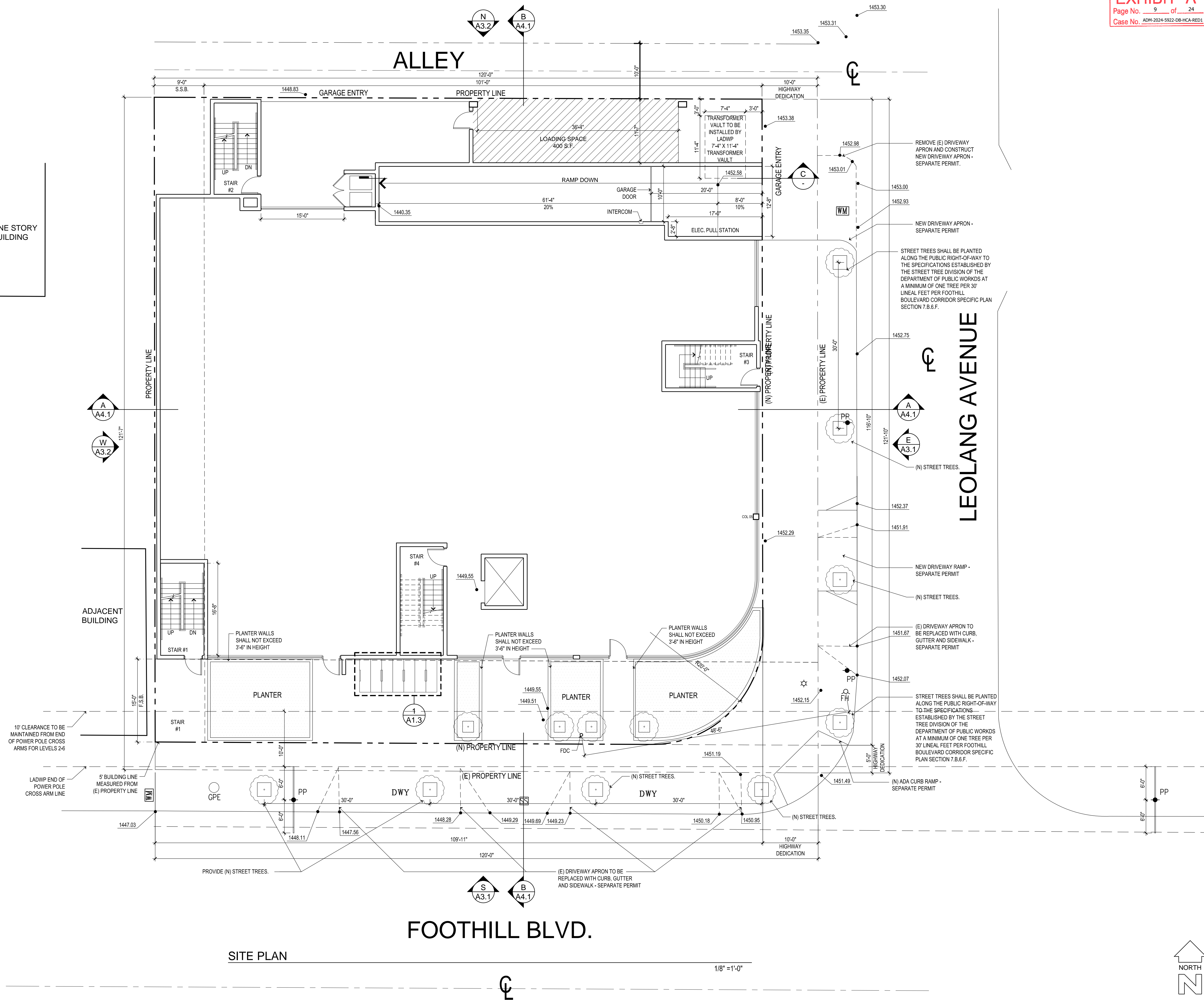
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF THE TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RIGHTS OF INTELLECTUAL PROPERTY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM THE USE OF THESE PLANS AND SPECIFICATIONS BY THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES OR INADEQUACIES. CONTRACTORS' MODIFICATIONS TO THE PLANS AND SPECIFICATIONS SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE THE RESPONSIBILITY OF THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

PROJECT
63 UNIT APARTMENT
BUILDING

SHEET TITLE

SITE PLAN

SHEET	OF
A2.0	



SIGNATURE



OWNER

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE REVISIONS

DATE ISSUED FOR

NOTES

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE

09-17-2024

DRAWN

CHECKED

PROJECT

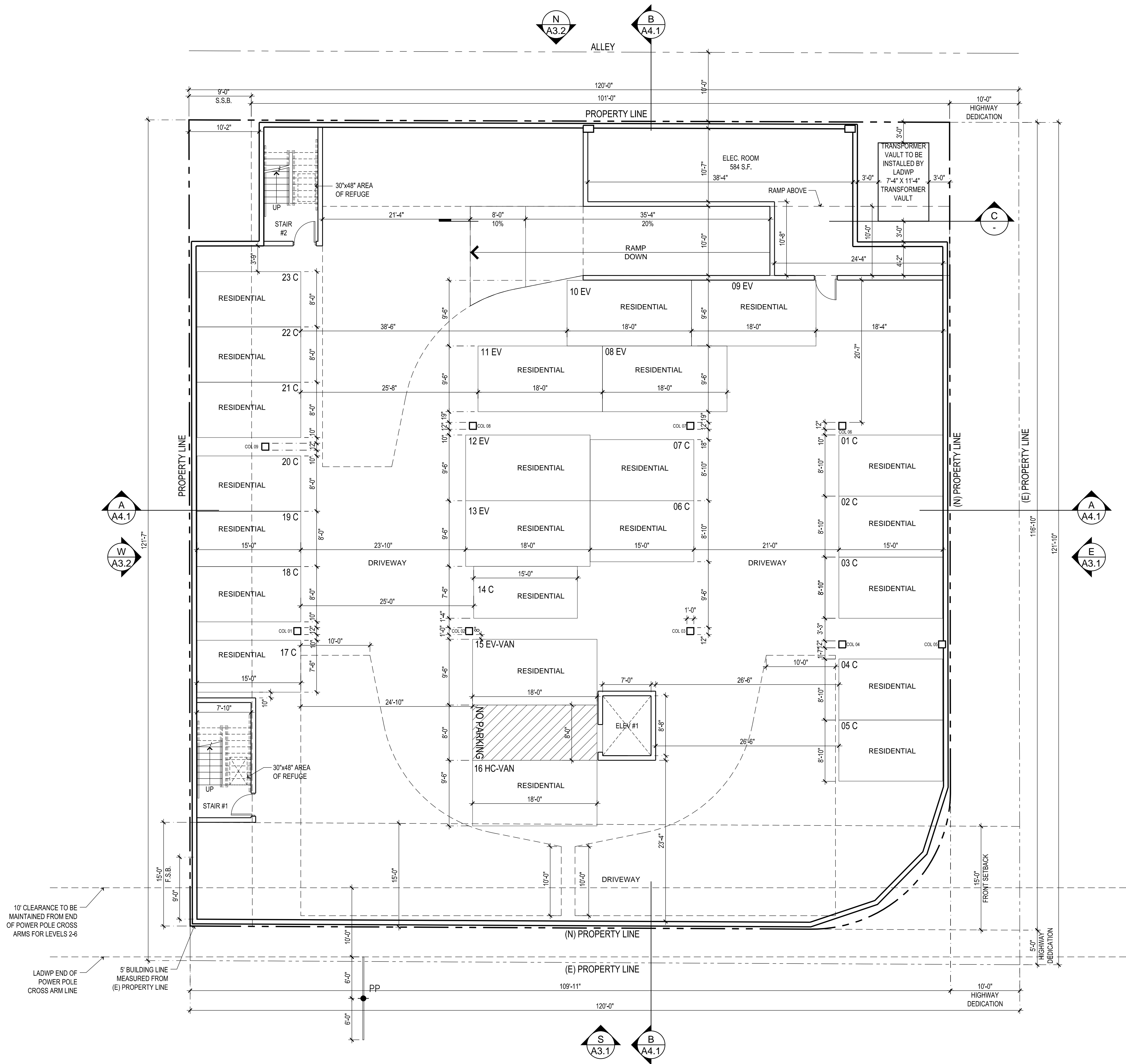
63 UNIT APARTMENT
BUILDING

SHEET TITLE

GARAGE PLAN

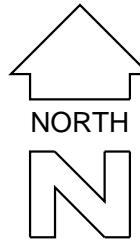
SHEET OF

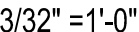
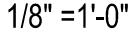
A2.1



GARAGE PLAN

1/8" = 1'-0"




$$1/8'' = 1'-0''$$


SHEET	OF
A2.2	

DATE	REVISIONS

DATE	ISSUED FOR

NOTES

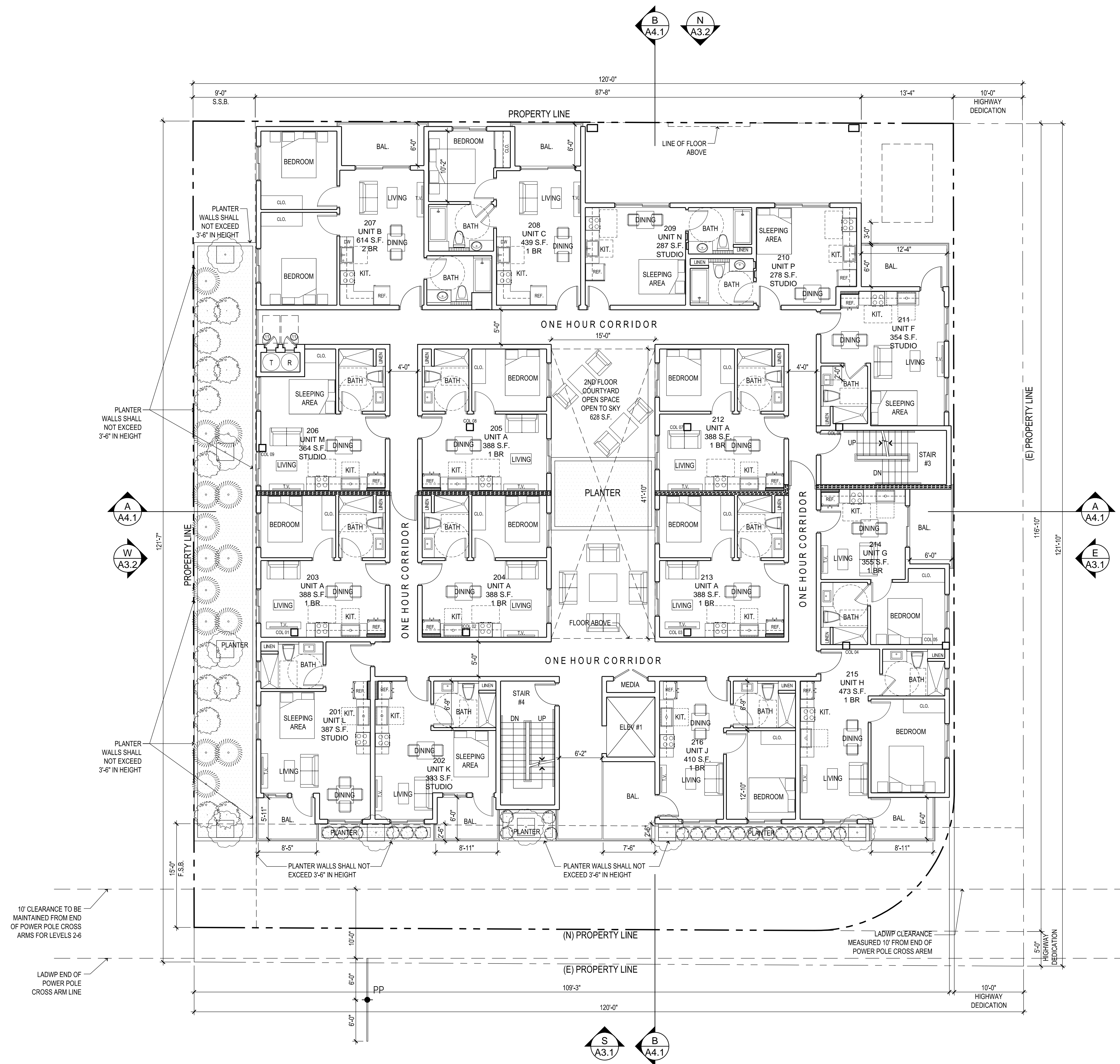
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE LIMITED TO THE ORIGINAL SITE, FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. ANY REVISION OR MODIFICATION OF ANY PART OF ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAS ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING FROM THE USE OF THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM ANY FAILURE TO FOLLOW THE RECOMMENDATIONS OF THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, CONFLICTS, AMBIGUITIES, OR DEFICIENCIES WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE USED FOR THE JOB. THE JOB SHALL BE COMPLETED TO THE SCOPE OF THE ARCHITECT PREPARED TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE FACE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT BUILDING

SHEET TITLE
SECOND FLOOR PLAN

SHEET	OF
A2.3	



SECOND FLOOR PLAN

1/8" = 1'-0"



DATE	REVISIONS

DATE	ISSUED FOR

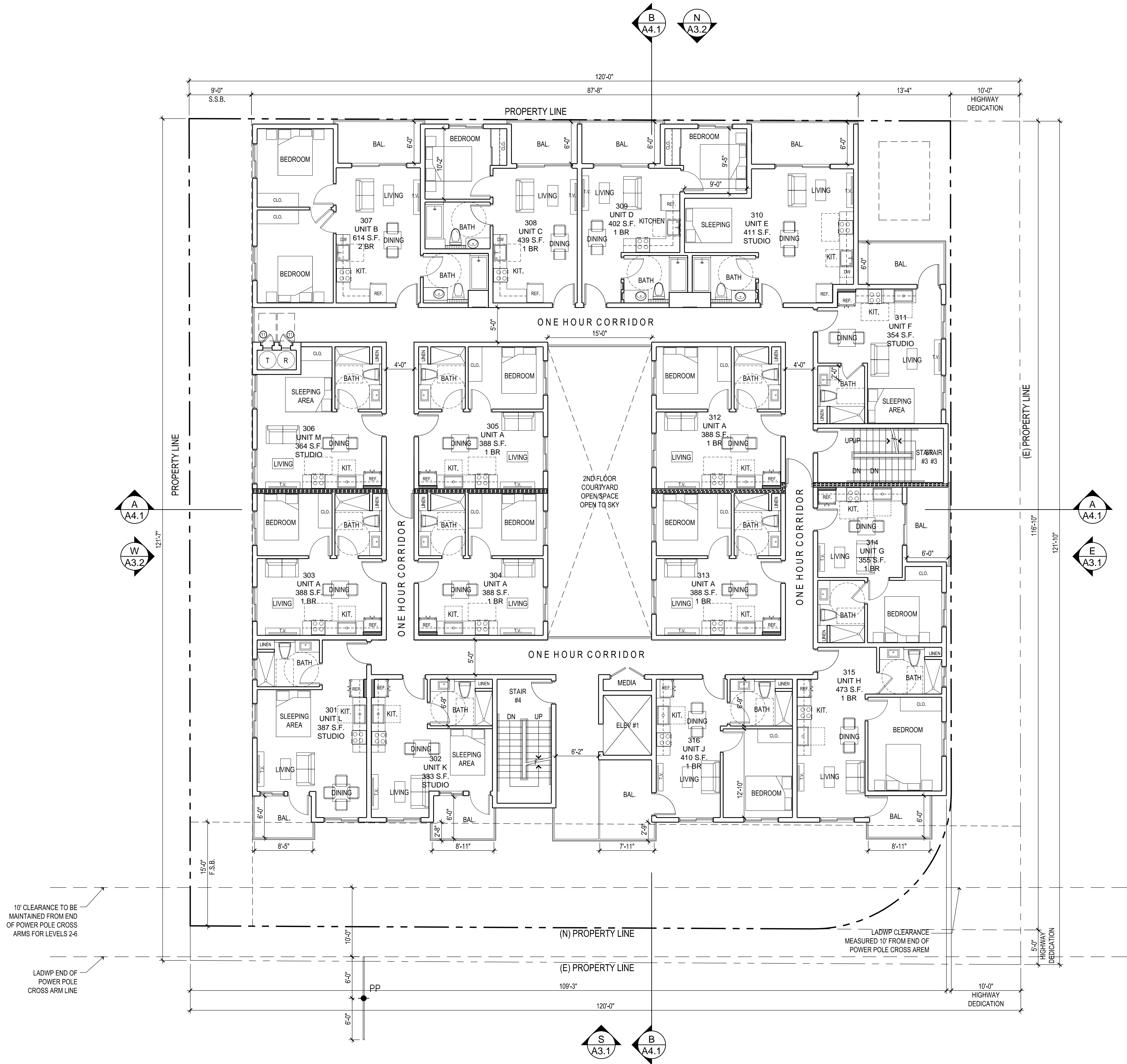
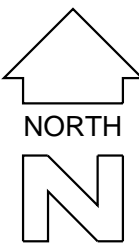
NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT BUILDING

SHEET TITLE
THIRD FLOOR PLAN

SHEET	OF
A2.4	



THIRD FLOOR PLAN

1/8" = 1'-0"

DATE	REVISIONS

DATE	ISSUED FOR

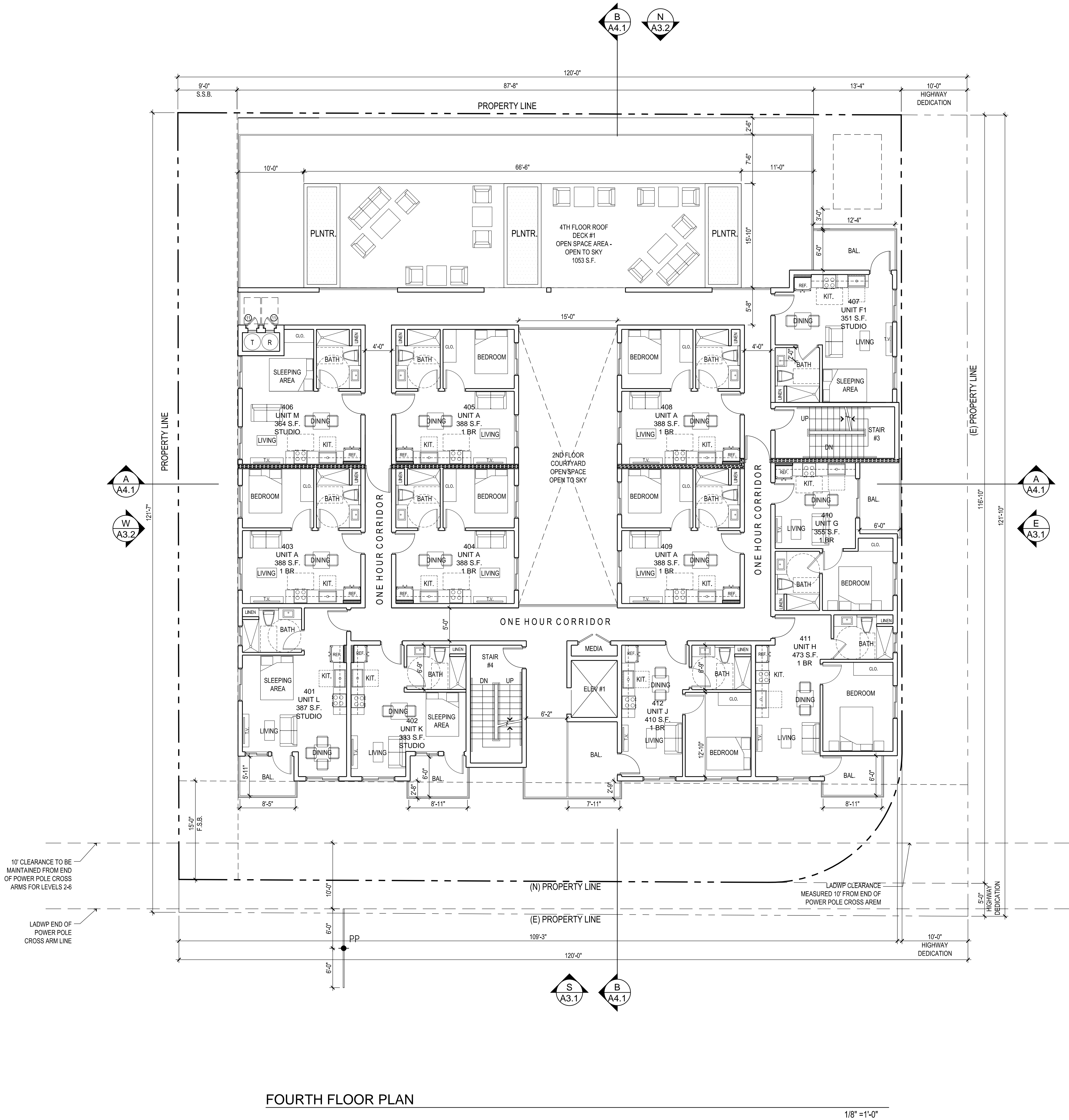
NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCIES SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT BUILDING

SHEET TITLE
FOURTH FLOOR PLAN

SHEET	OF
A2.5	



DATE	REVISIONS

DATE	ISSUED FOR

NOTES

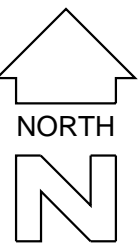
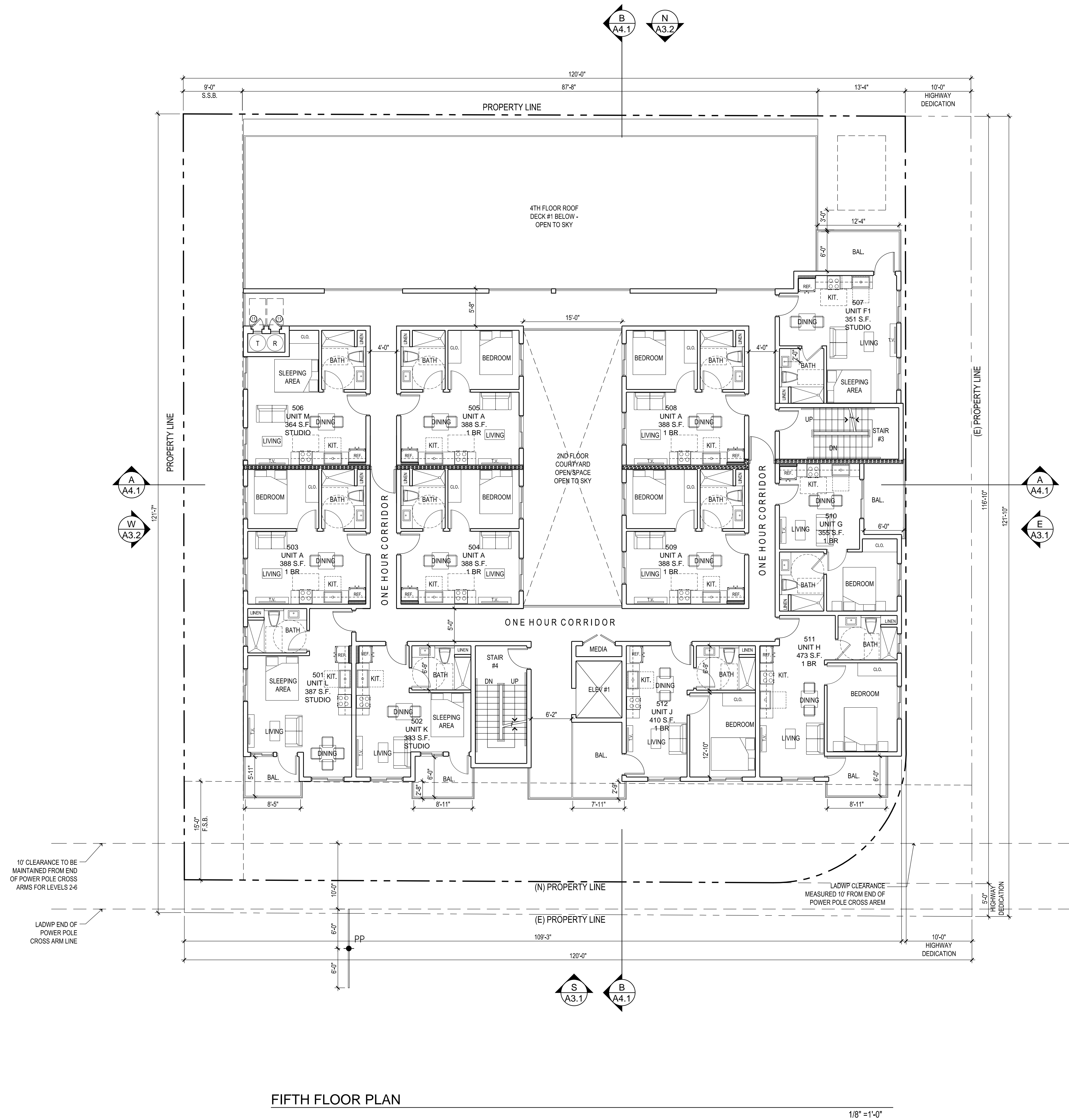
USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION HEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REVISION, REPRODUCTION, OR ANY OTHER USE IN WHOLE OR IN PART IS PROHIBITED. THE PLANS AND SPECIFICATIONS SHALL REMAIN THE PROPERTY OF SAM ASLANIAN ARCHITECT, INC. WITHOUT LIABILITY TO SAM ASLANIAN ARCHITECT, INC. FOR DAMAGES OF ANY KIND AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN NOTATIONS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OTHERS FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, OR INCONSISTENCIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO THE COMMENCEMENT OF AND WORK. INSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE VIOLATION OF THE RESTRICTIONS.

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
3 UNIT APARTMENT
BUILDING

SHEET TITLE
FIFTH FLOOR PLAN

SHEET	OF
A2.6	



DATE	REVISIONS

DATE	ISSUED FOR

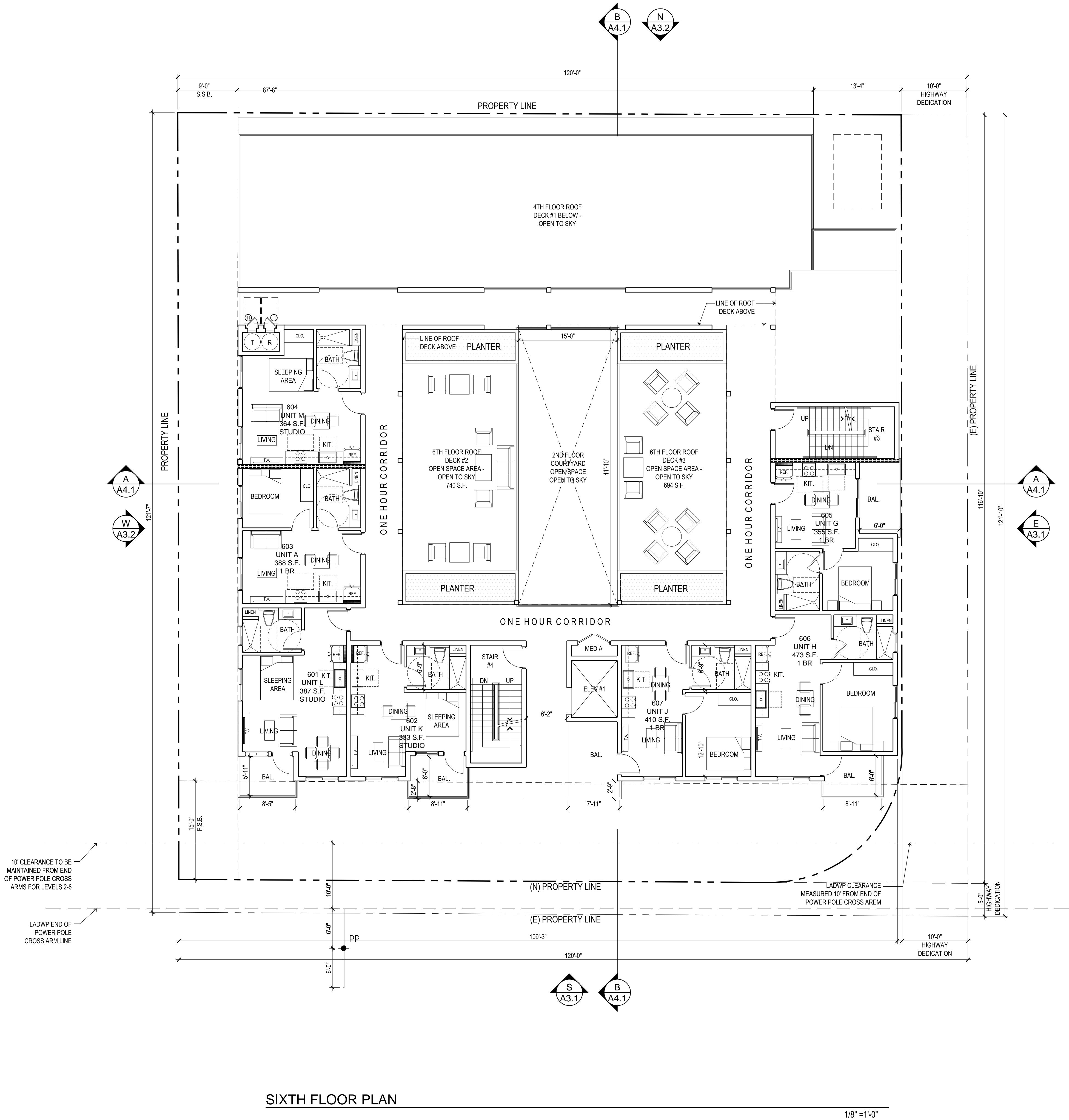
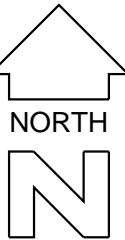
NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT BUILDING

SHEET TITLE
SIXTH FLOOR PLAN

SHEET	OF
A2.7	



SIXTH FLOOR PLAN



OWNER

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS

DATE	ISSUED FOR

NOTES

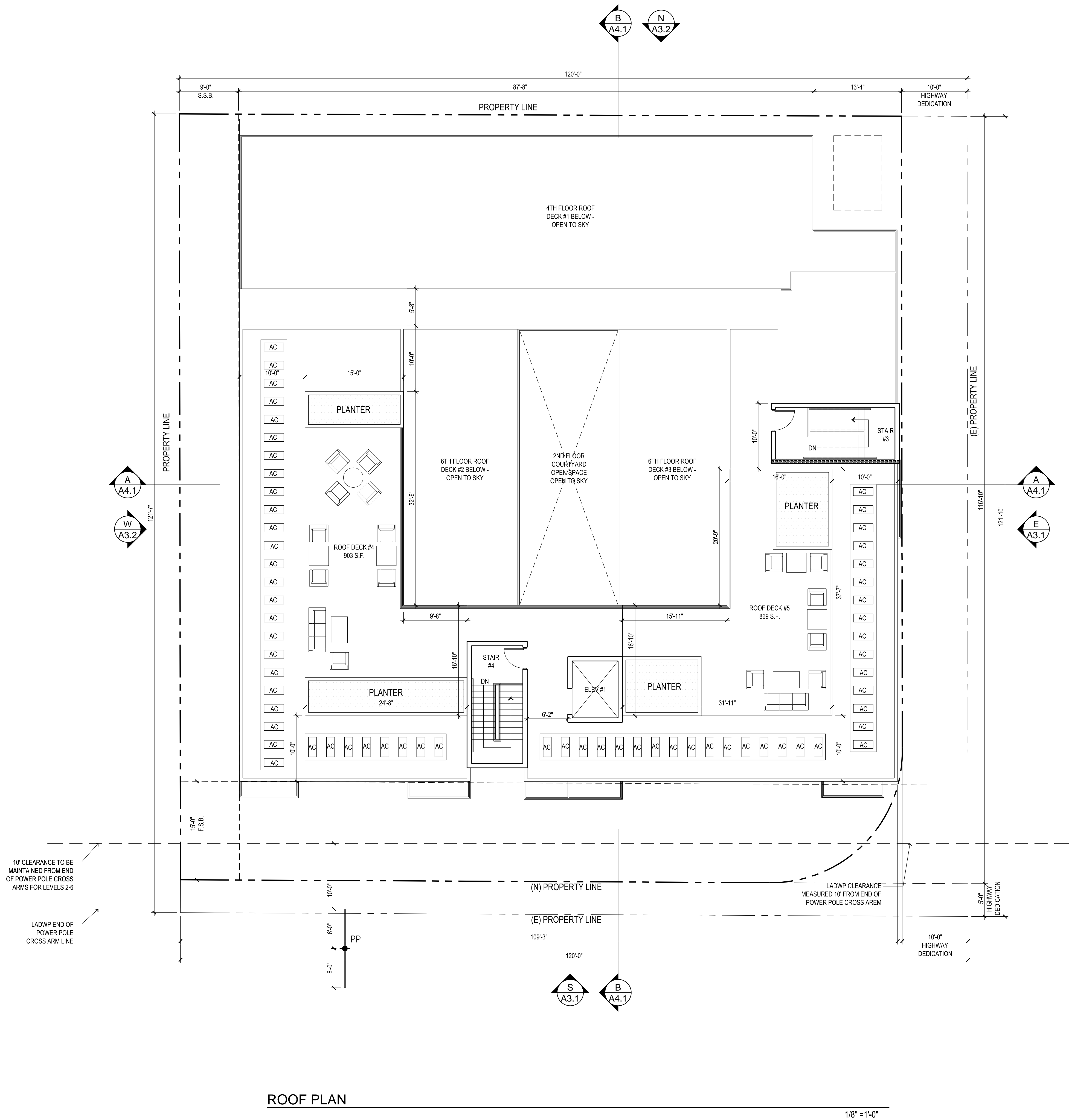
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT
BUILDING

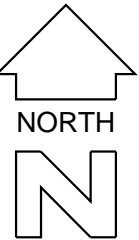
SHEET TITLE
ROOF PLAN

SHEET	OF
A2.8	



ROOF PLAN

1/8" = 1'-0"



SIGNATURE



OWNER

MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6607

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE REVISIONS

DATE ISSUED FOR

NOTES

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF BE EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEIR CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF AND WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE

09-17-2024

DRAWN

CHECKED

PROJECT

63 UNIT APARTMENT
BUILDING

SHEET TITLE

SOUTH & EAST
ELEVATIONS

SHEET

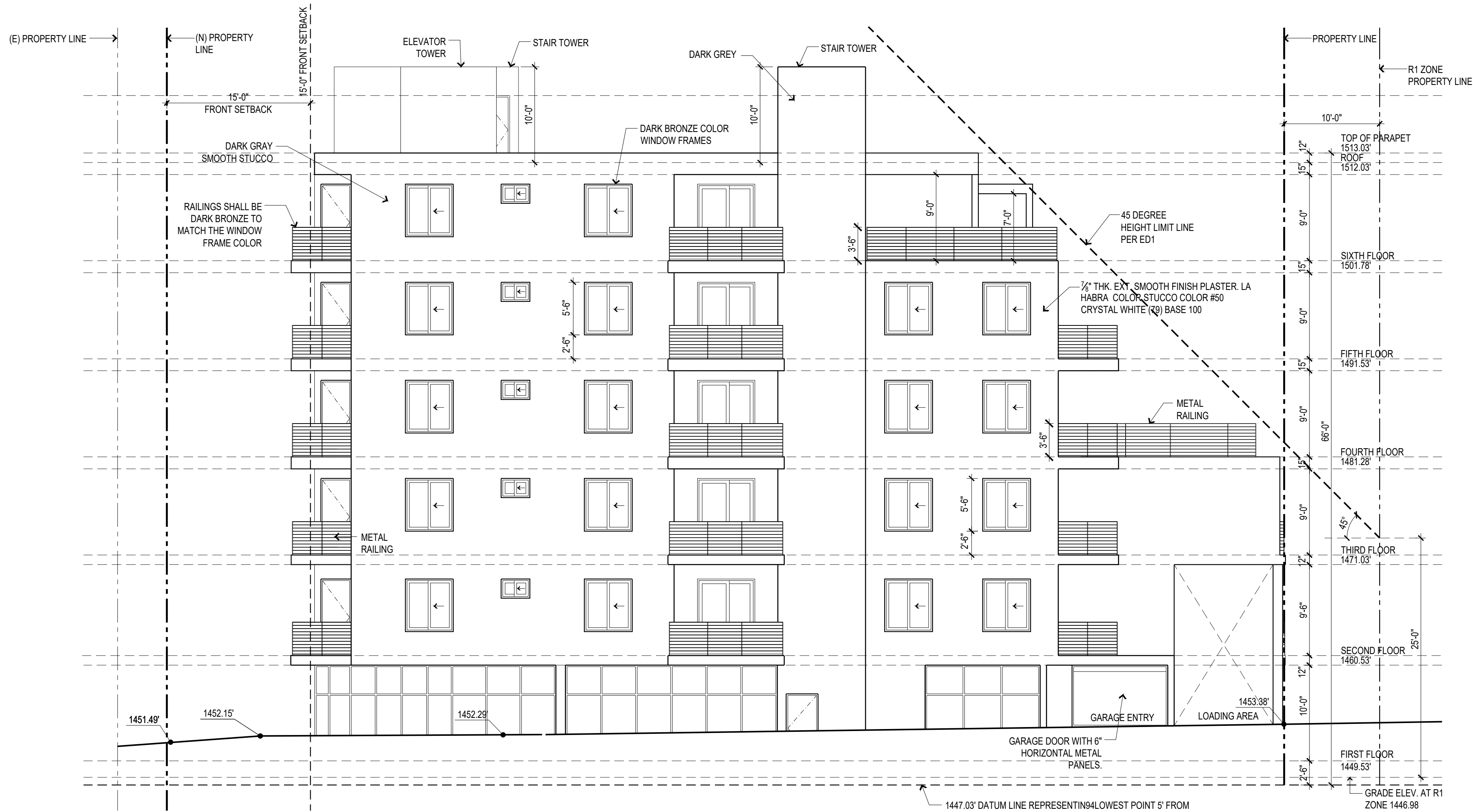
OF

A3.1



SOUTH (FRONT) ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

FIRST FLOOR (COMMERCIAL)

FACADE:		
SOUTH	=	1249 S.F.
EAST	=	651 S.F.
TOTAL	=	1900 S.F.

GLAZING:		
SOUTH	=	503 S.F.
EAST	=	420 S.F.
TOTAL	=	923 S.F.

PERCENTAGE = $\frac{923}{1900} \times 100 = 49\%$

ABOVE FIRST FLOOR (RESIDENTIAL)

FACADE:		
SOUTH	=	4230 S.F.
EAST	=	4261 S.F.
NORTH	=	4027 S.F.
WEST	=	4117 S.F.
TOTAL	=	16635 S.F.

GLAZING:		
SOUTH	=	1121 S.F.
EAST	=	765 S.F.
NORTH	=	579 S.F.
WEST	=	828 S.F.
TOTAL	=	3293 S.F.

PERCENTAGE = $\frac{3293}{16635} \times 100 = 20\%$

NOTE:

1. ALL EXTERIOR LIGHTING SHALL BE RECESSED LIGHTS UNDER SOFFITS. THERE SHALL BE NO FLOODLIGHTING DIRECTLY SEEN BY ADJACENT PROPERTIES. THERE SHALL BE NO BLINKING LIGHTS.

EXTERIOR MATERIALS SHALL NOT INCLUDE THE FOLLOWING:: METAL (CORRUGATED, EXPOSED SHEET METAL, ETC.); PLASTIC OR FIBERGLASS; PLYWOOD OR IMITATION WOOD SIDING; REFLECTIVE, MIRRORED OR OPAQUE GLASS; IMITATION STONE OR MASONRY (NATURAL VENEERS ARE ACCEPTABLE); UNFINISHED CONCRETE AND CONCRETE BLOCK; BARE ALUMINUM (ANODIZED IS PREFERRED); HEAVILY TEXTURED PLASTER OR STUCCO (COMBED FINISH, DASH TROWEL FINISH, STIPPLE-TROWELED FINISH); WOOD SHAKES OR SHINGLES. (PLEASE NOTE: SOME OF THESE MATERIALS WHEN USED IN MODERATION OR AS ACCENTS MAY BE CONSIDERED APPROPRIATE.) PER FOOTHILL BOULEVARD CORRIDOR SPECIFIC PLAN - DESIGN GUIDELINES & STANDARDS MANUAL SECTION 3.C.

SIGNATURE



OWNER

MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6607

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE REVISIONS

DATE ISSUED FOR

NOTES

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEIR CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF AND WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE

09-17-2024

DRAWN

CHECKED

PROJECT

63 UNIT APARTMENT
BUILDING

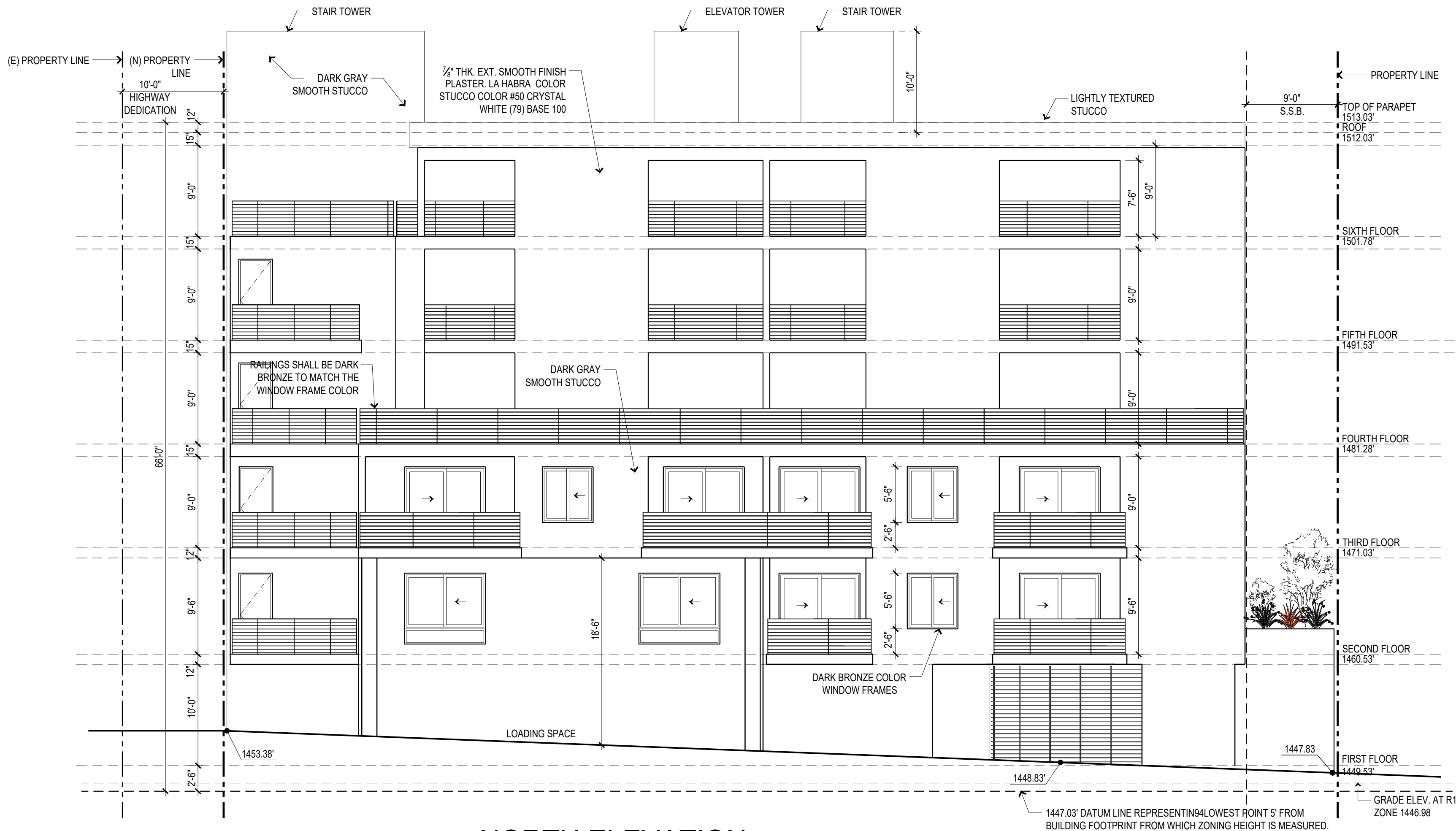
SHEET TITLE

NORTH & WEST
ELEVATIONS

SHEET

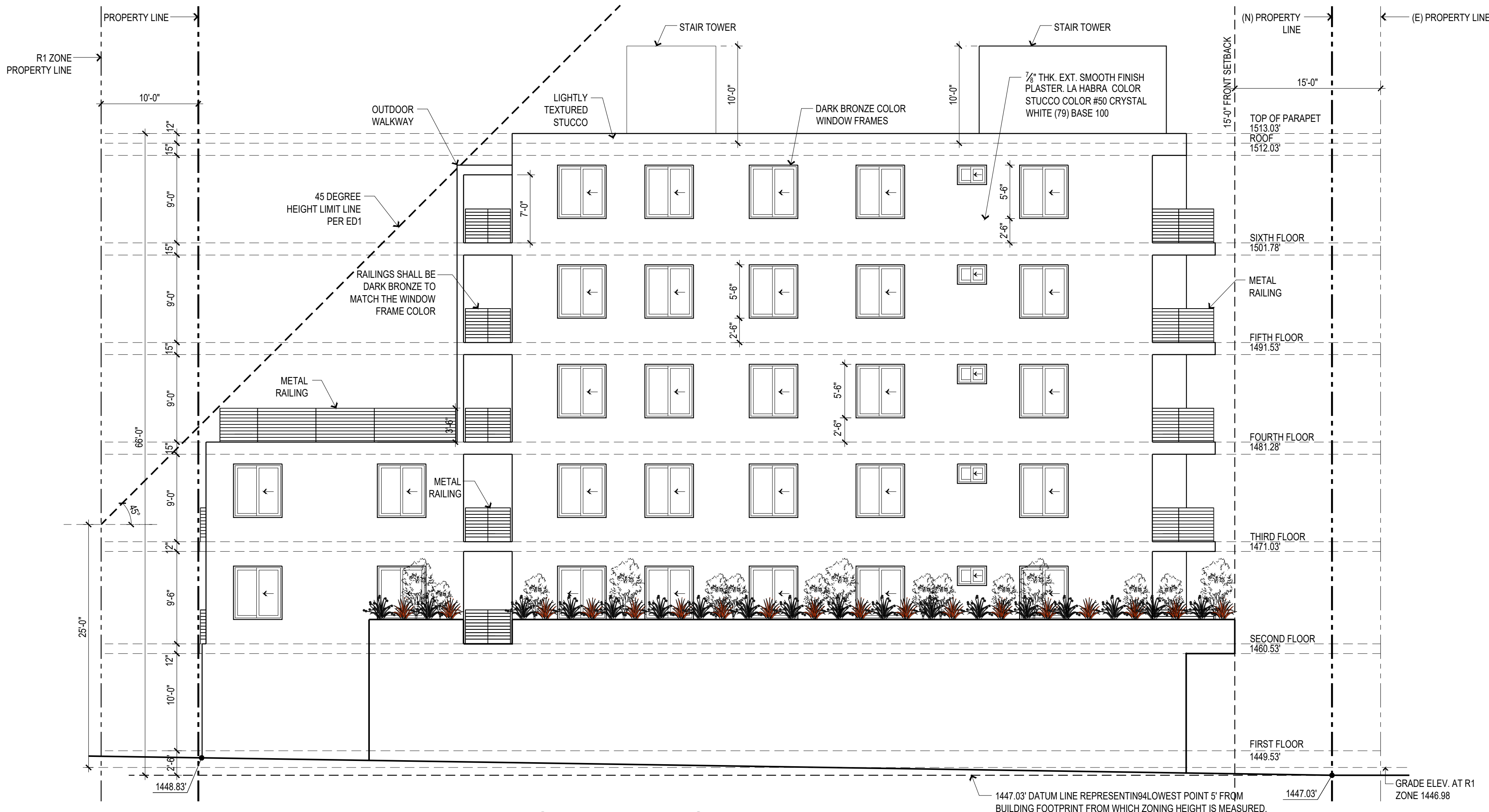
OF

A3.2



NORTH ELEVATION

1/8"=1'-0"



WEST ELEVATION

1/8"=1'-0"

FIRST FLOOR (COMMERCIAL)

FACADE:
SOUTH = 1249 S.F.
EAST = 651 S.F.
TOTAL = 1900 S.F.

GLAZING:
SOUTH = 503 S.F.
EAST = 420 S.F.
TOTAL = 923 S.F.

PERCENTAGE = $\frac{923}{1900} \times 100 = 49\%$

ABOVE FIRST FLOOR (RESIDENTIAL)

FACADE:
SOUTH = 4230 S.F.
EAST = 4281 S.F.
NORTH = 4027 S.F.
WEST = 4117 S.F.
TOTAL = 16635 S.F.

GLAZING:
SOUTH = 1121 S.F.
EAST = 765 S.F.
NORTH = 579 S.F.
WEST = 828 S.F.
TOTAL = 3293 S.F.

PERCENTAGE = $\frac{3293}{16635} \times 100 = 20\%$

NOTE:

1. ALL EXTERIOR LIGHTING SHALL BE RECESSED LIGHTS UNDER SOFFITS. THERE SHALL BE NO FLOODLIGHTING DIRECTLY SEEN BY ADJACENT PROPERTIES. THERE SHALL BE NO BLINKING LIGHTS.

EXTERIOR MATERIALS SHALL NOT INCLUDE THE FOLLOWING:: METAL (CORRUGATED, EXPOSED SHEET METAL, ETC.); PLASTIC OR FIBERGLASS; PLYWOOD OR IMITATION WOOD SIDING; REFLECTIVE, MIRRORED OR OPAQUE GLASS; IMITATION STONE OR MASONRY (NATURAL VENEERS ARE ACCEPTABLE); UNFINISHED CONCRETE AND CONCRETE BLOCK; BARE ALUMINUM (ANODIZED IS PREFERRED); HEAVILY TEXTURED PLASTER OR STUCCO (COMBED FINISH, DASH TROWEL FINISH, STIPPLE-TROWELED FINISH); WOOD SHAKES OR SHINGLES. (PLEASE NOTE: SOME OF THESE MATERIALS WHEN USED IN MODERATION OR AS ACCENTS MAY BE CONSIDERED APPROPRIATE.) PER FOOTHILL BOULEVARD CORRIDOR SPECIFIC PLAN - DESIGN GUIDELINES & STANDARDS MANUAL SECTION 3.C.

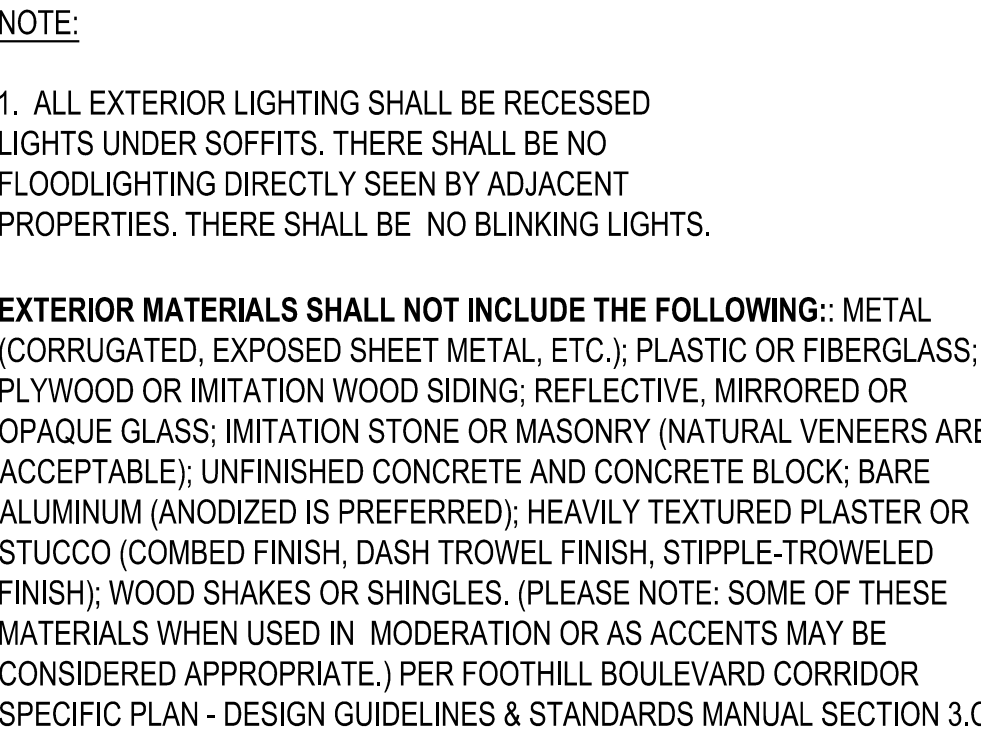


EXHIBIT "A"
Page No. 20 of 24
Case No. ADM-2024-5922-DB-HCA-REC

$$1/8'' = 1' - 0'$$

$$1/8'' = 1' - 0''$$

SIGNATURE



OWNER

MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6607

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS

DATE	ISSUED FOR

NOTES

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE AND THE PROJECT FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT SHALL BE REFUSED. REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH THE ARCHITECT. NO PART OF THESE PLANS OR SPECIFICATIONS SHALL BE USED TO THE PREJUDICE, SAN ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR ANY ERRORS, OMISSIONS, INCONSISTENCIES, INADEQUACIES, OR FOR ANY OF THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN INTENT OF THESE PLANS AND SPECIFICATIONS WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS SHALL PREVAIL OVER ANY DIMENSIONS SHOWN ON THE PLANS. SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL BE MAINTAINED THROUGHOUT THE ENTIRE DURATION OF THE PROJECT. THE ARCHITECT'S ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-11-2024
DRAWN
CHECKED

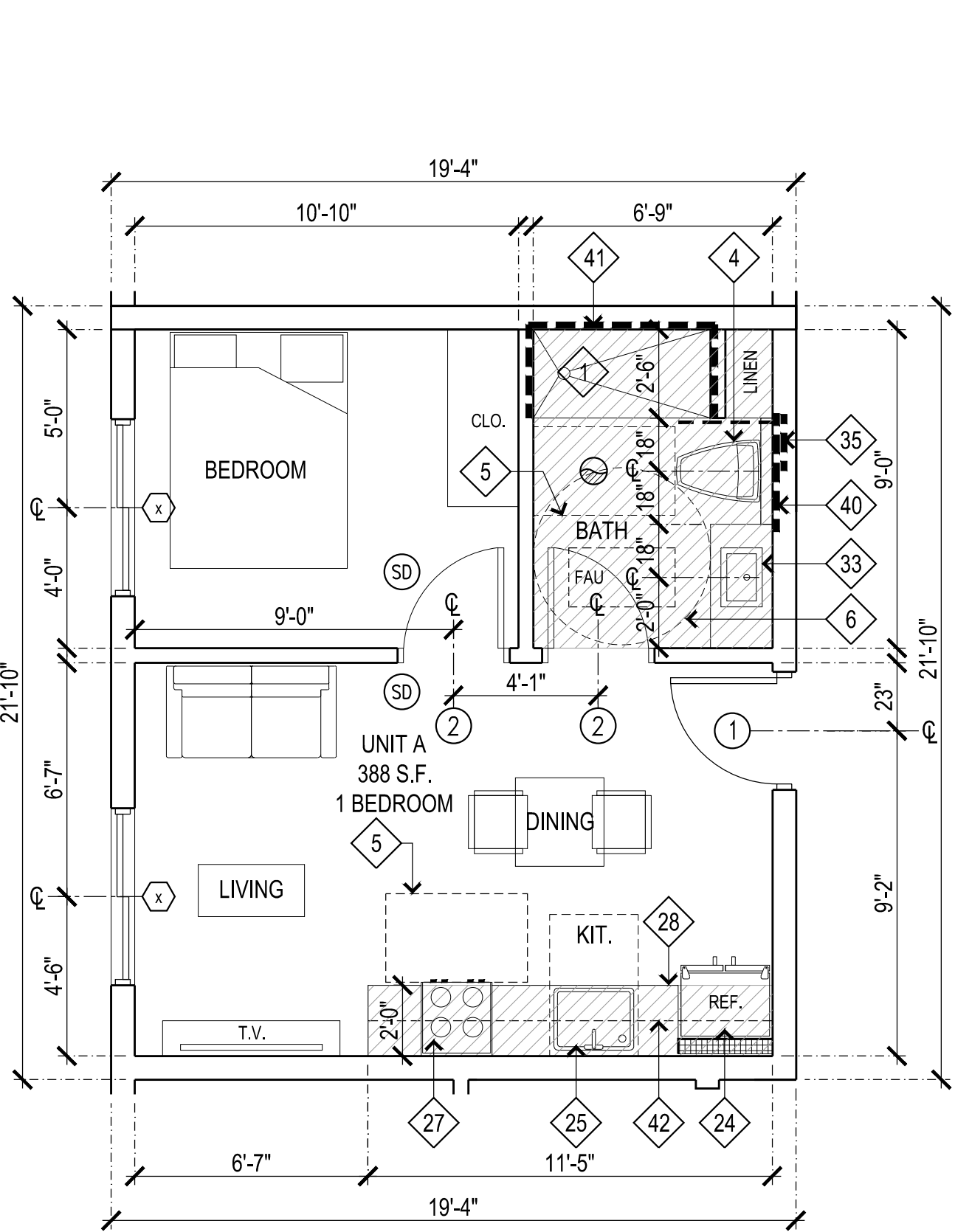
PROJECT
63 UNIT APARTMENT BUILDING

SHEET TITLE

SECTIONS A-A &
B-B

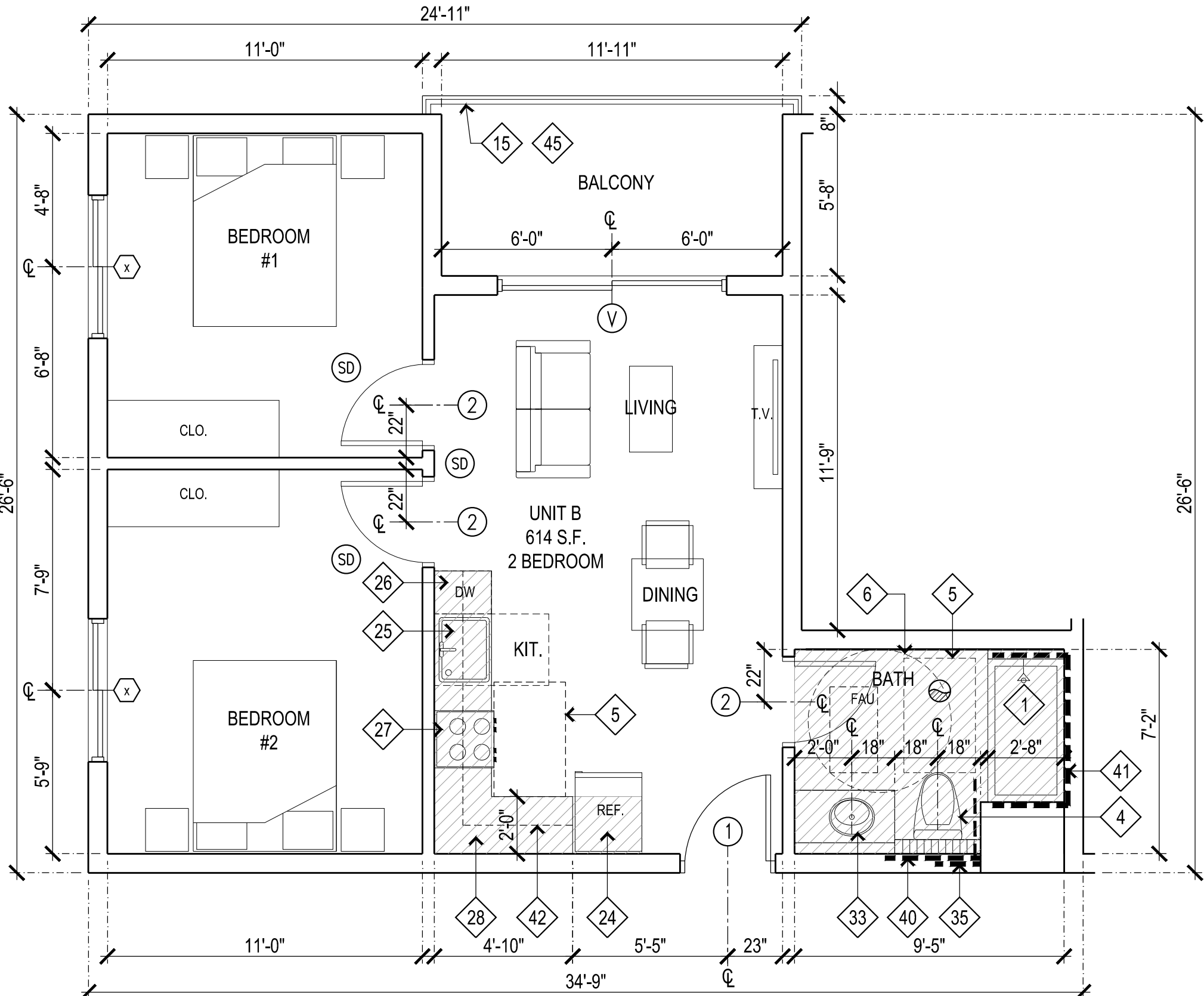
SHEET	OF
-------	----

A 4.1



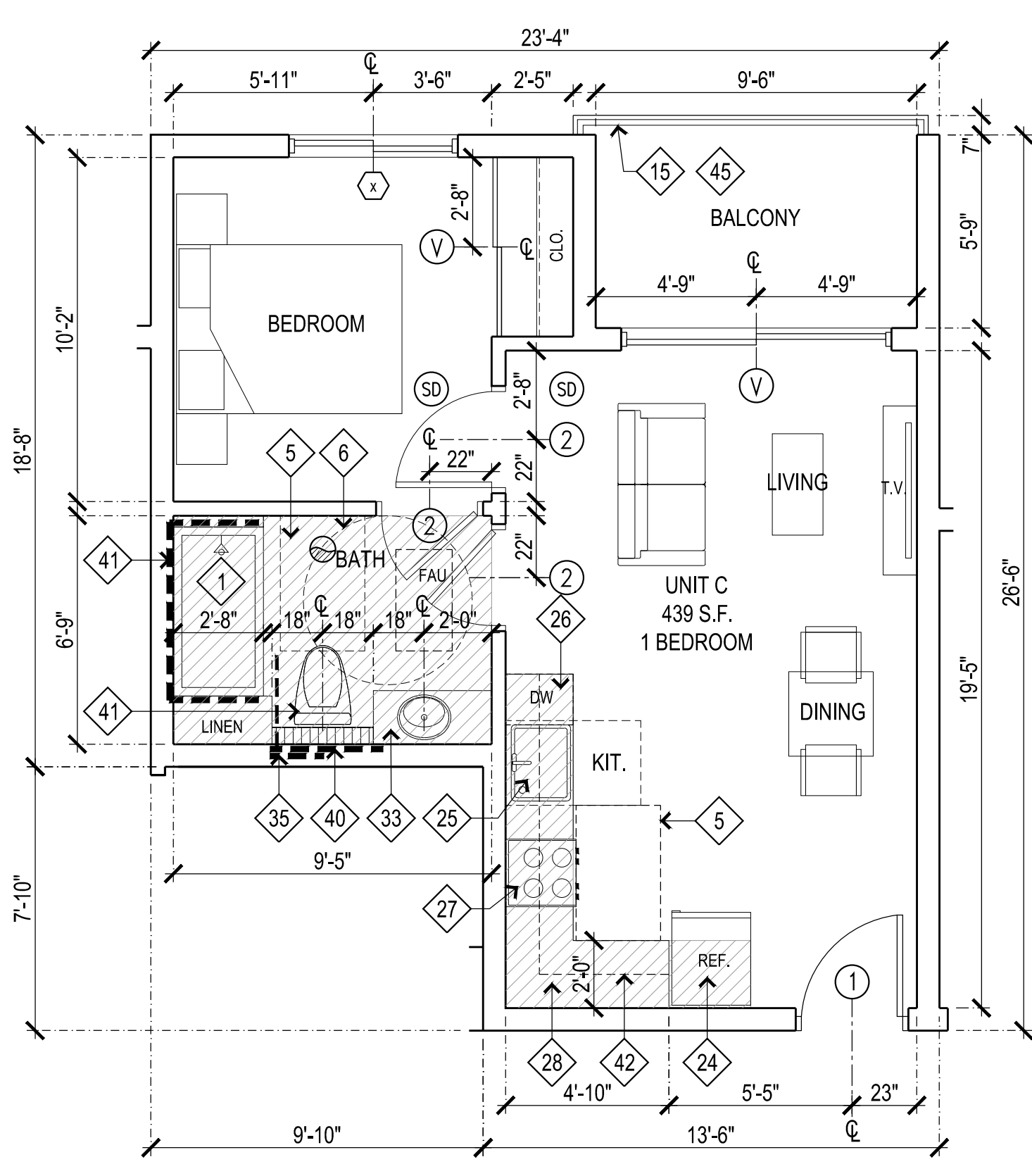
A (203,204,205,212,213,303,304, 305,312,313,403,404,405,408, 409, 503,504,505,508,509,603)

1/4"=1'-0"



B (207,307)

1/4"=1'-0"



C (208,308)

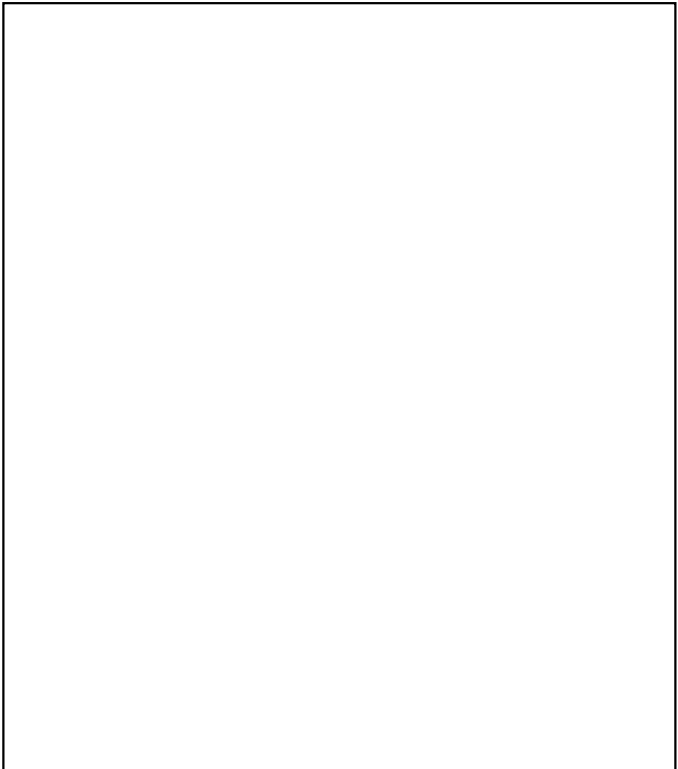
1/4"=1'-0"

UNIT PLAN SHEET LEGEND	
	INDICATES LOCATION OF S.S. H.C. GRAB BAR, FLR. OR WALL MOUNTED PER GN.2 & GN.3.
	INDICATES LOCATION OF S.S. H.C. FOLD AWAY GRAB BAR, FLR. OR FLR./WALL MOUNTED PER PLANS.
	CEILING SURFACE MOUNTED LED PUCK LIGHTS - SEE ELECTRICAL DRAWINGS
	JUNCTION BOX FOR FUTURE CEILING FAN.
	SUPPLY REGISTER ON CEILING FOR AIR CONDITIONING SYSTEM - SEE MECHANICAL DRAWINGS.

UNIT PLAN FINISH SCHEDULE LEGEND	
ROOM NAME	ROOM
FLOOR MATERIAL	CEILING HEIGHT
BASE MATERIAL	CEILING MATERIAL
CT	CERAMIC TILE, PER SPEC.C
BC	BROOM FINISH CONC.
CP	CARPET W/ PAD, PER SPEC.S
V	VAULTED CEILING
SV	SHEET VINYL, PER SPEC.S
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE, PER SPEC.S
WB	WOOD BASE PRIMED & PAINTED PER SPEC.S.
UNIT PLAN SHEET LEGEND	
	ENERGY STAR COMPLIANT EXHAUST FAN DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING CONTROLLED BY A READILY AVAILABLE HUMIDISTAT CAPABLE OF COMPLETE AIR CHANGE EVERY 15 MINUTES PER CBC 1203.4.2.1. SEE NOTE #23 & 24 FORM 16 SHT. A1.11
	NOTES CEILING HEIGHT.
	INDICATES LINE OF SHELF & POLE ABV. PROVIDE DOUBLE POLE AT 50% OF STOR. SPACE.

UNIT PLAN SHEET NOTES	
1.	FOR ABBREV.S, SYMBOLS & GEN. NOTES REFER TO SHEET A0.1.
2.	FOR ADDITIONAL DISABLED ACCESS, GRAB BAR AND WALL BLOCKING REQUIREMENTS REFER TO SHEETS A1.5 - A1.8 & A8.8 - A8.13.
3.	FOR DOOR AND WINDOW SCHEDULE, REFER TO SHEET A7.1.
4.	WALL SWITCHES, ELEC, TEL AND TV RECEPTACLES SHALL BE INSTALLED BETWEEN 15" AND 44" HGT. A.F.F.
5.	INSTALL SMOKE DETECTORS AS REQUIRED PER C.B.C. SECTION 310.9 & AS INDICATED ON THE PLANS.
6.	PROVIDE MECH. VENTILATION PER CBC SECTION 1202.2.1 IN ALL BATHROOMS AND SIM. ROOMS AS REQ. BY CODE WHETHER OPERABLE WINDOWS ARE PROVIDED OR NOT. ENERGY STAR, HUMIDISTAT CONTROLLED.
7.	DISCHARGE POINT FOR EXHAUST AIR SHALL BE AT LEAST 3' AWAY FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BLDG. C.B.C. SEC. 1203.3.
8.	INSTALL ONE TOWEL BAR AT ACCESS, BATHRM. AT +40" A.F.F. ALL OTHER LOCATIONS INSTALL AT +54" A.F.F.
9.	EVERY PRIMARY ENTRANCE TO A DWELLING UNIT REQUIRED TO BE ACCESSIBLE AND SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME OR EQUIVALENT INSTALLATIONS MOUNTED A MAXIMUM OF 48 INCHES ABOVE THE FLOOR CONNECTED TO PERMANENT WIRING. (1132A.10)
10.	ALL KITCHENS SHALL INCLUDE 2-15" BREAD BOARDS.
11.	PROVIDE BLOCKING IN WALLS AT TOILET AND BATH TUB WALL FOR FUTURE GRAB BARS.

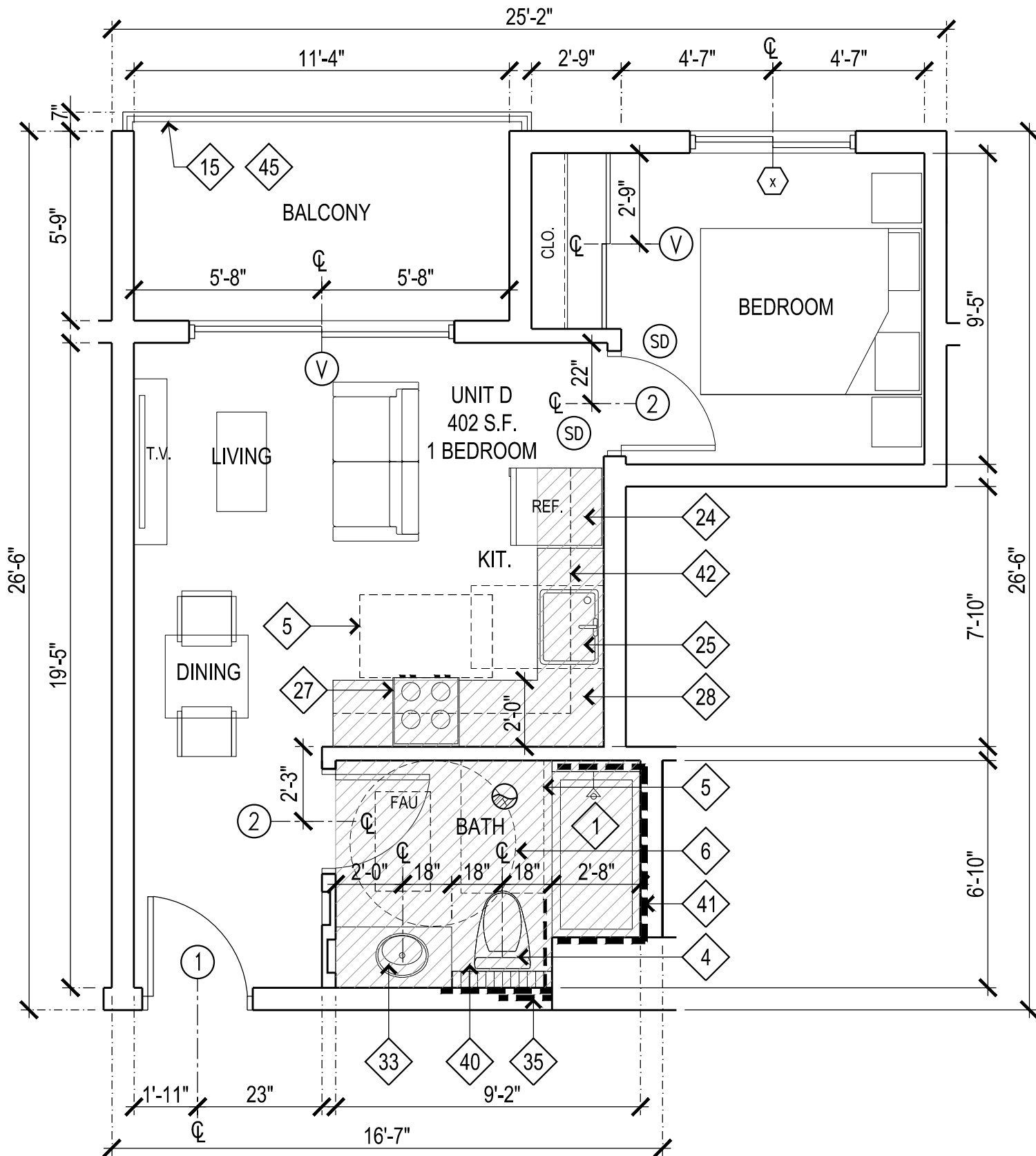
PLAN SHEET KEYNOTES			
1	BATHTUB WITH MIN. SIZE OF 30"x60". USE OWNER'S SPECIFIED MODEL. PROVIDE GRAB BAR REINFORCING PER A1.7	10	H.C. ACCESSIBLE FRONT LOADING WASHER OR DRYER BOTTOM OF LOWER LAUNDRY COMPARTMENT. OPENING SHALL BE MIN. 15" ABOVE FLOOR AND MAX. 36" ABOVE FLOOR.
2	INDICATES 36" WIDE ACCESSIBLE ROUTE	11	DUCT TO UPPER OR LOWER LEVEL - SEE MECHANICAL DRAWINGS
3	CABINET PANEL	12	30" WIDE WORKSPACE COUNTER W/ REMOVABLE BASE CABINETS
4	LOW CONSUMPTION WATER CLOSET IN 36" WIDE CLR. SPACE	13	ONE OF TWO 15" WIDE BREADBOARDS REQUIRED IN LIEU OF PROVIDING A 30" WIDE WORK SURFACE.
5	INDICATES REQUIRED RES. H.C. ACCESS CLR. SPACE. 30"x48" AT LAV., TUB & KIT. RANGE. 36"x48" AT WATER CLOSET.	14	GALVANIZED METAL SCUPPER PER: (A8.9) (A8.7)
6	5'-0" DIA. CLEAR H.C. CLEAR SPACE	15	42" HIGH METAL RAILING
7	24" LONG TOWEL BAR. PROVIDE 2x BLOCKING. USED 18" OR 12" LONG TOWEL BAR WHEN SPACE IS LIMITED.	16	NOT USED
8	BUILT-IN CABINET ENCLOSURE WITH DOOR	17	2-HOUR CHUTE OR MECHANICAL SHAFT
9	RECESSED ELECTRICAL OUTLET. SEE ELECTRICAL DRAWINGS	18	NOT USED
		19	LINE OF ROOF/BALCONY ABOVE.
20	INSTALL 1/4" THICK 12" DIA. CIRCLE W/ A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER AT RESTROOM CENTERED AT THE SR. AT HEIGHT OF 60" PER CBC SECTION 1127A.7.2	21	LINE OF SOFFIT ABOVE
28	CERAMIC OR STONE COUNTERTOP. KITCHEN COUNTERTOP SHALL BE 36" HIGH. KITCHEN ISLANDS WHERE OCCURS SHALL BE 34" HIGH WITH 28" HIGH MIN. VERTICAL KNEE MINIMUM.	29	FRESH AIR INTAKE - SEE MECHANICAL. USE MODEL SFX VENT LOUVER BY SEIHO.COM
29	MEZZANINE STAIR: MAX. RISER HT. 7-3/4" AND MAX RUN 10".	30	BATHROOM EXHAUST DUCT - SEE MECHANICAL. SEE UNIT PLAN SHEET NOTE 6.
31	DRYER EXHAUST DUCT - SEE MECHANICAL.	32	LAVS SHALL BE 34" HIGH TO FINISH FLOOR. WITH REMOVABLE CABINETS. NO SPECIALIZED TOOLS REQUIRED TO REMOVE BASE CABINETS. COUNTER DEPTH SHALL BE 1'-9" CENTER OF LAV. SHALL BE 24" FROM WALL OR 18" FROM WALL WHEN THERE ARE NO BASE CABINETS. INSULATE ALL PIPES. REFER TO (A8.9) (A8.5)
33	EXPOSE CONCRETE WALK SURFACE SHALL BE LIGHT GREY UNCOLORED CONCRETE ON SECOND FLOOR. FOR BALCONIES ON LEVELS 3-5 USE PLY-DECK DECK COATING LARR 25375	34	
35	PROVIDE ADDITIONAL 12" WIDE VERTICAL GRAB BAR. REINFORCING FOR PORTABLE DROP DOWN GRAB BAR	45	DECK COATING LARR 25261 MANUFACTURER. URETHANE POLYMERS INTERNATIONAL, INC. PRODUCTS: DEXCELLENT II FIRE-RETARDANT ROOF COVERING AND WALKING DECK SYSTEM AND UPI DECK COATING ROOF COVERING
36	VERTICAL ROOF DRAIN PIPE ENCLOSED IN DRYWALL CHASE DISCHARGES TO PLANTER.	46	ISLAND COUNTER TOP SHALL BE MAX. 34" ABOVE FINISH FLOOR. PROVIDE 19" MIN. KNEE AND TOE CLEARANCE FOR FORWARD APPROACH WHEELCHAIR ACCESS.
37	UNIT ELECTRICAL SUB PANEL WITH HIGHEST OPERATING PACT AT 44" A.F.F. PER SHEET A1.8	47	GARAGE EXHAUST SHAFT DISCHARGE AT ROOF LEVEL. PROVIDE 2-HR SHAFT.
38	RECESSED MEDICINE CABINET		
39	RECESS HOT/COLD WATER SUPPLY W/ DRAIN LINE.SEE PLUMBING DRAWINGS.		
40	40" WIDE GRAB BAR REINFORCEMENT PER SHEET A1.6		
41	GRAB BAR REINFORCEMENT PER SHEET A1.6		
42	UPPER WALL CABINET		
43	UNDER CABINET STRIP LIGHTING		
44	NOT USED		



LADBS APPROVAL STAMP

NOTES:
1. INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.13.
2. ALL DOOR BELLS OR SIGNAL DEVIDED SHALL BE HARDWIRED.

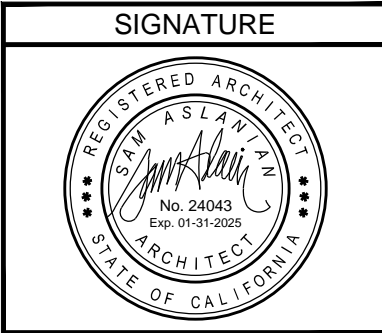
EXHIBIT "A"
Page No. 21 of 24
Case No. ADM-2024-5922-08-HCA-RED



D (309)

1/4"=1'-0"

SAM ASLANIAN ARCHITECT
19951 TURNBERRY DRIVE
TARZANA CA 91366
TEL: 818.383.3237
FAX: 818.301.2703
email: sam@aslanianarchitects.com
www.aslanianarchitects.com



OWNER
MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6807

CONSULTANT

PROJECT TITLE
63 UNIT APARTMENT BUILDING
7937 FOOTHILL BOULEVARD, SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS

DATE	ISSUED FOR

NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THE CONSULTANT SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA-FACE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE	DRAWN
09-17-2024	

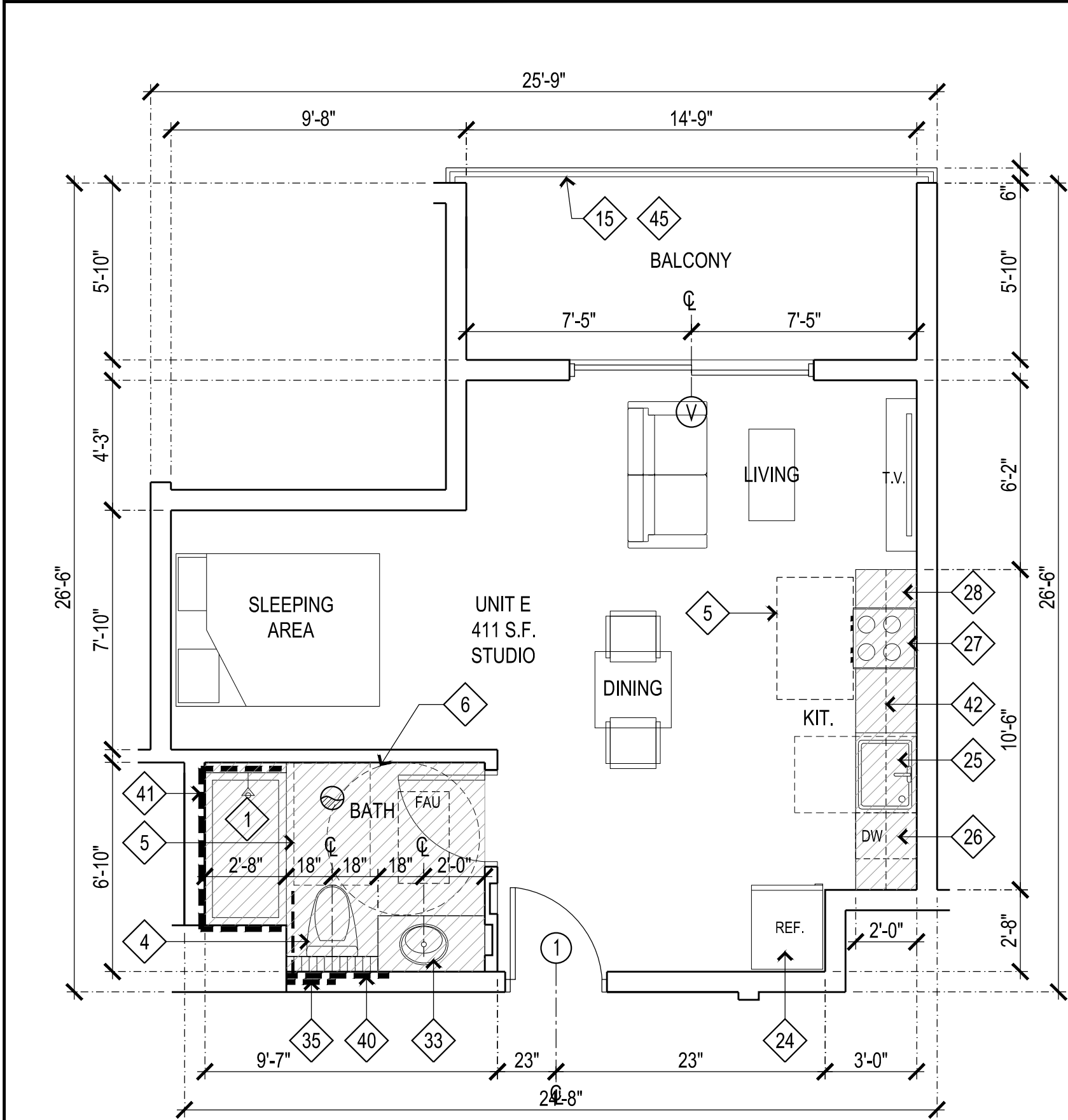
CHECKED

PROJECT
63 UNIT APARTMENT BUILDING

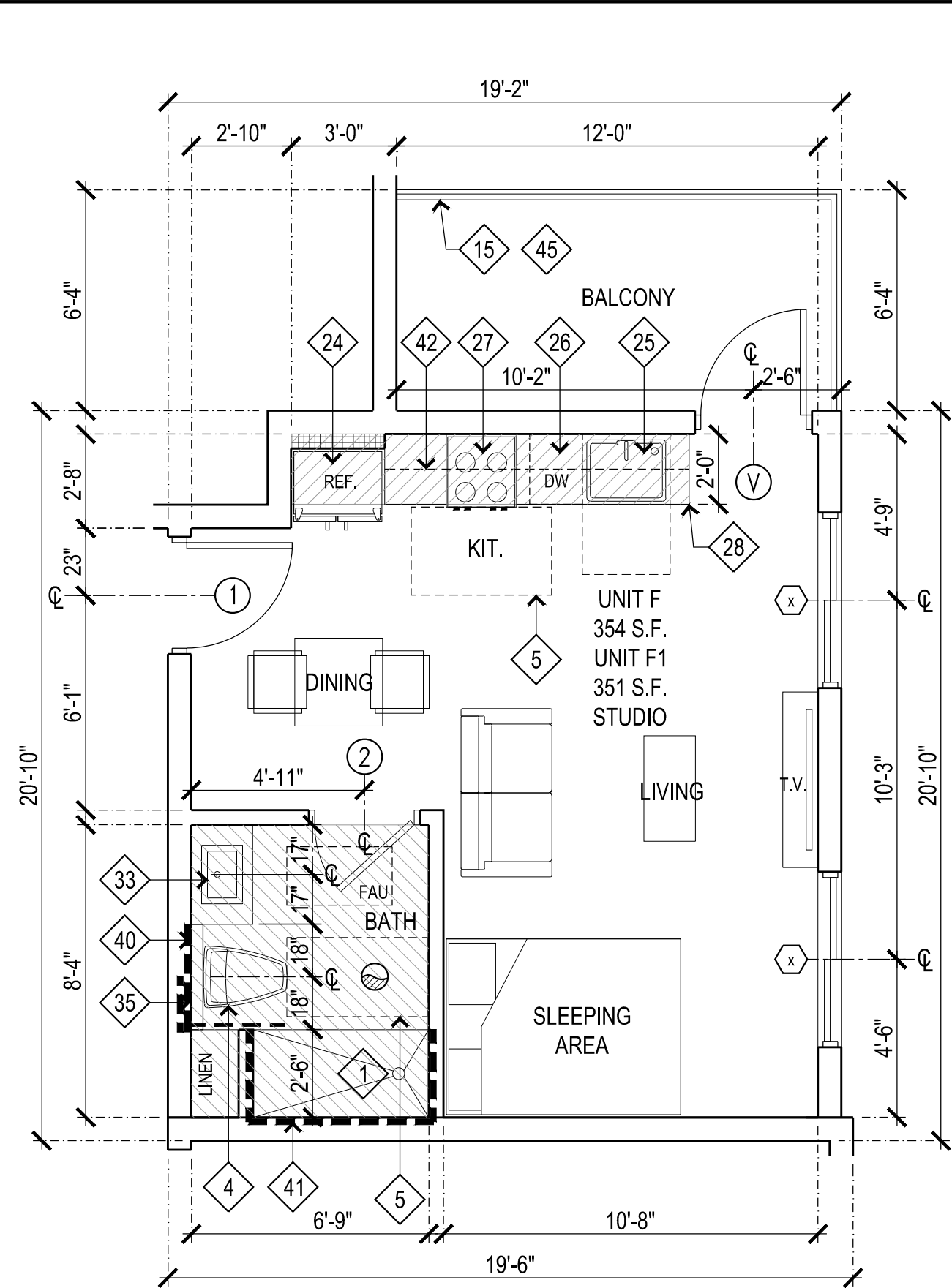
SHEET TITLE
UNIT PLANS A, B, C & D

SHEET **OF**

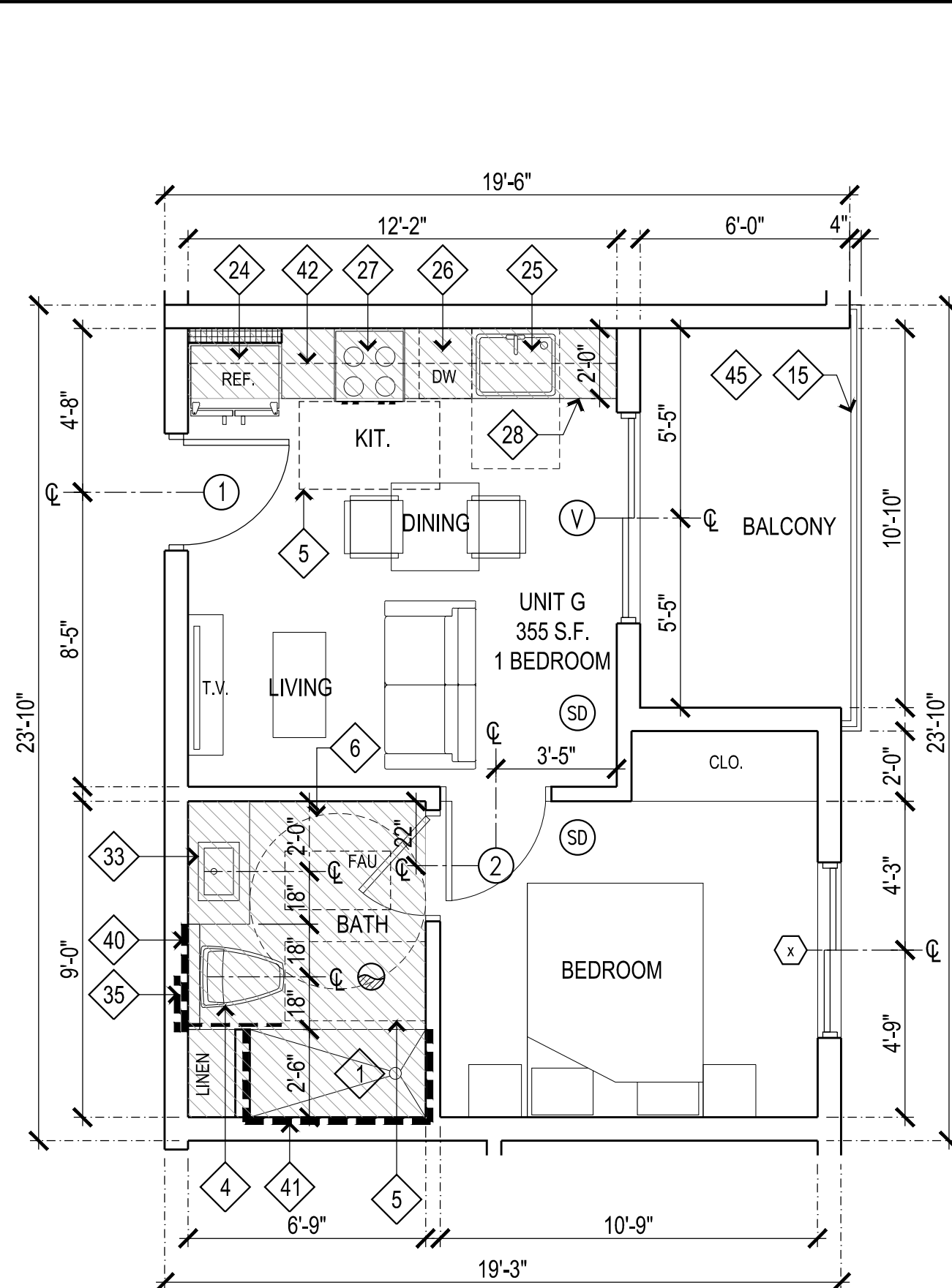
A 6.1



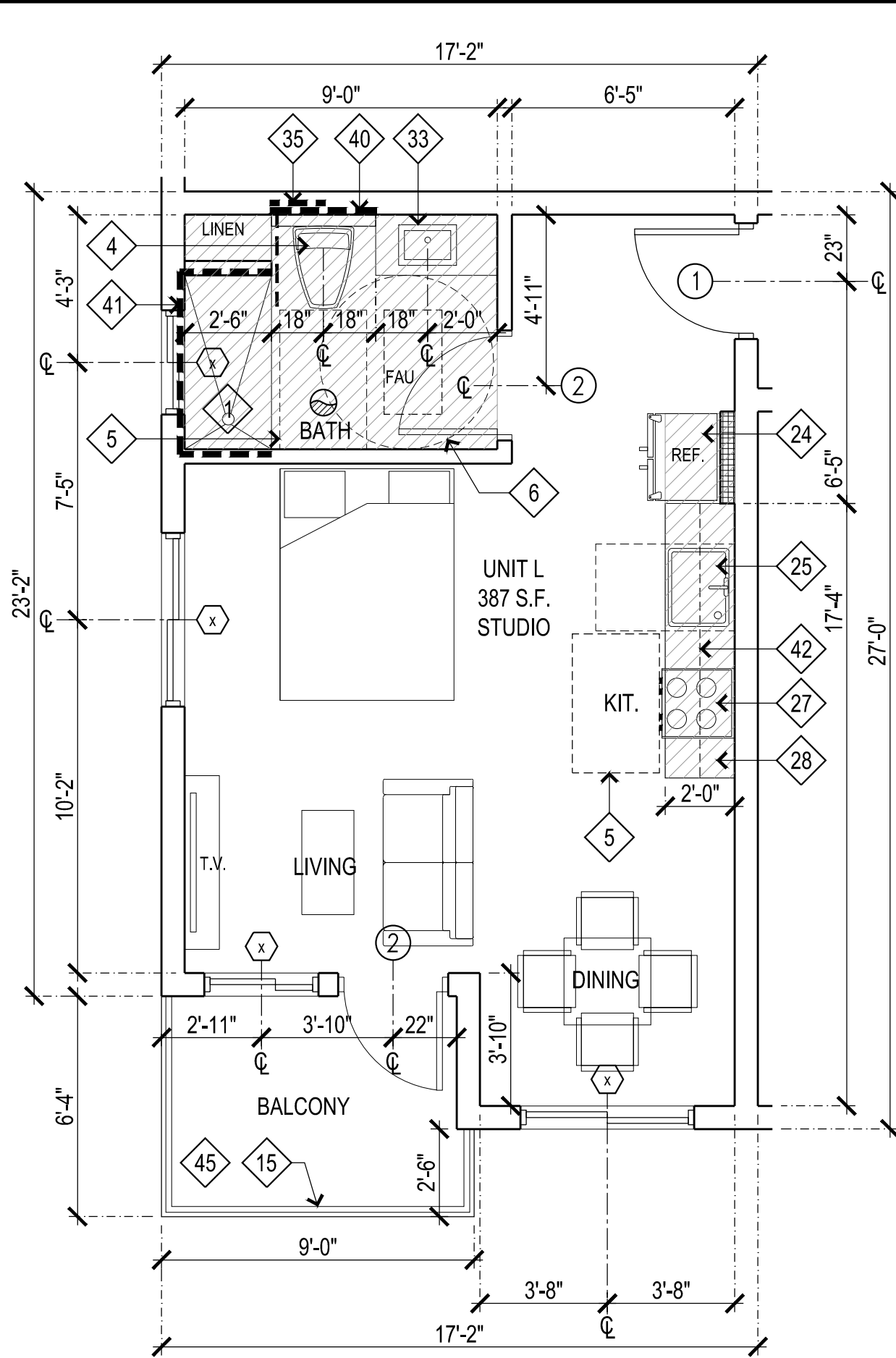
E (310)



F (211,311)
F1 (407,507)



G (214,314,410,510,605)



L (201,301,401,501,601)

UNIT PLAN SHEET LEGEND			
	4" NOM. STUD WALL		6" NOM. INT. STUD WALL. REFER TO STRL. PLANS FOR ADDITIONAL 2x6 WALLS.
	4" NOM. STUD FURRED WALL. PLUMBING WALL.		INDICATES 2-HR WALL W/ NO OPENINGS.
	1-HOUR DWELLING SEPARATION WALL.		2-HOUR AREA SEPARATION WALL.
	INDICATES FURRED CLG. AREA, U.N.O. FIELD VERIFY REQ. DEPTH W/ MECH. PLANS.		SD SMOKE AND CARBON MONOXIDE COMBINATION DETECTOR AS REQ. BY C.B.C. SEC. 907.2.6.3.3. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.

UNIT PLAN FINISH SCHEDULE LEGEND			
ROOM NAME	ROOM	CEILING HEIGHT	N NONE
FLOOR MATERIAL		CEILING MATERIAL	GB
BASE MATERIAL		WALL FINISH	F
CT CERAMIC TILE, PER SPEC.C	BC BROOM FINISH CONC.	S GYP. BD. LIGHT ORANGE PEEL TEXTURE & SEMI-GLOSS ENAMEL PAINT PER SPEC.S	
CP CARPET W/ PAD, PER SPEC.S	V VAULTED CEILING	S GYP. BD. LIGHT ORANGE PEEL TEXTURE & SEMI-GLOSS ENAMEL PAINT PER SPEC.S	
SV SHEET VINYL, PER SPEC.S	VB VINYL BASE	G GYP. BD. LIGHT ORANGE PEEL TEXTURE & GLOSS ENAMEL PAINT PER SPEC.S	
VCT VINYL COMPOSITION TILE, PER SPEC.S	WB WOOD BASE PRIMED & PAINTED PER SPEC.S		
UNIT PLAN SHEET LEGEND			
	ENERGY STAR COMPLIANT EXHAUST FAN DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING CONTROLLED BY A READILY AVAILABLE HUMIDISTAT CAPABLE OF COMPLETE AIR CHANGE EVERY 15 MINUTES PER CBC 1203.4.2.1. SEE NOTE #23 & 24 FORM 16 SHT. A1.11		
	NOTES CEILING HEIGHT.		INDICATES LINE OF SHELF & POLE ABV. PROVIDE DOUBLE POLE AT 50% OF STOR. SPACE.

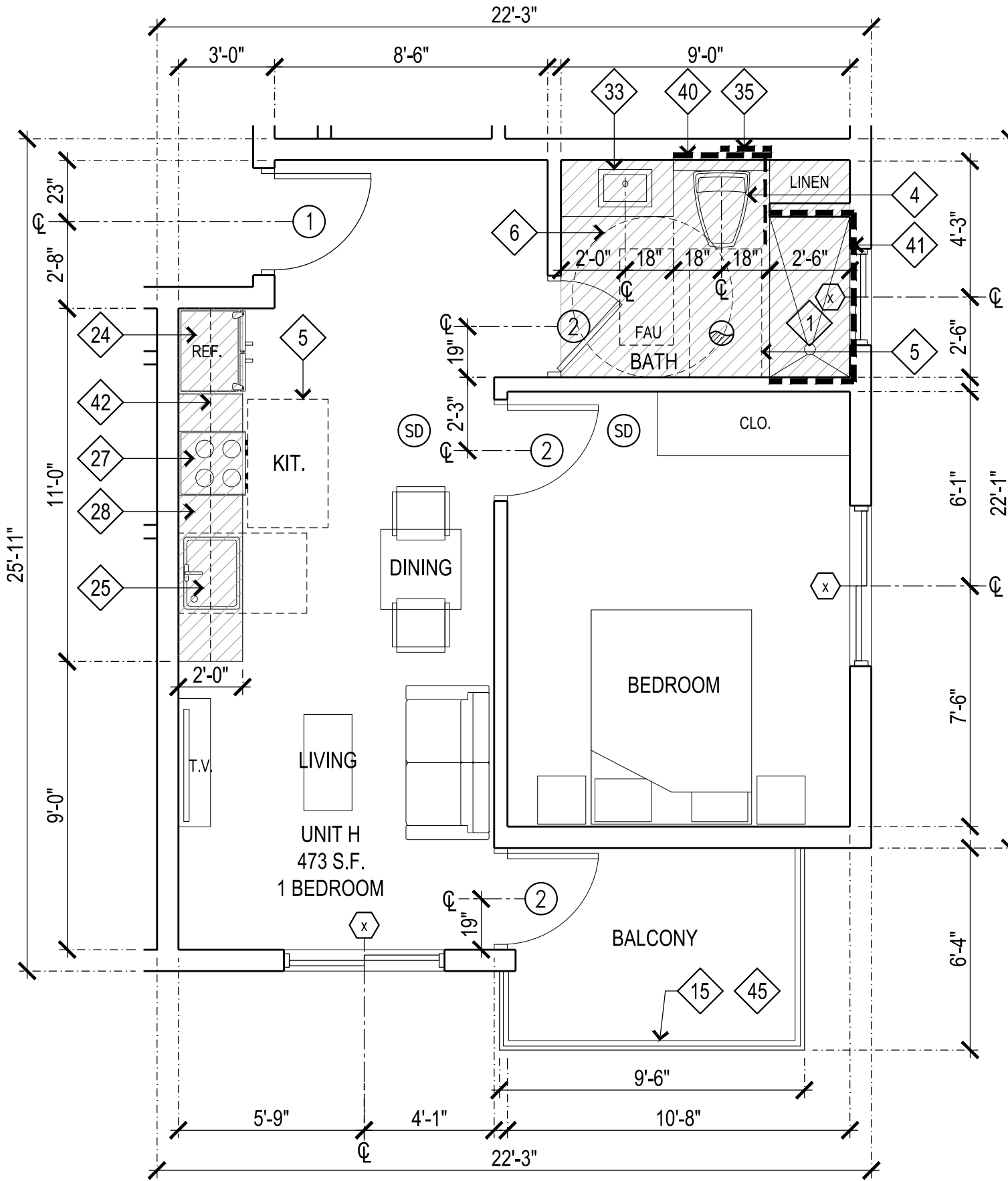
PLAN SHEET KEYNOTES

1	BATHTUB WITH MIN. SIZE OF 30"x60". USE OWNER'S SPECIFIED MODEL. PROVIDE GRAB BAR REINFORCING PER A1.7	10	H.C. ACCESSIBLE FRONT LOADING WASHER OR DRYER BOTTOM OF LOWER LAUNDRY COMPARTMENT. OPENING SHALL BE MIN. 15" ABOVE FLOOR AND MAX. 36" ABOVE FLOOR.	20	INSTALL 1/4" THICK 12" DIA. CIRCLE W/ A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER AT RESTROOM CENTERED AT THE SR. AT HEIGHT OF 60" PER CBC SECTION 1127A.7.2	28	CERAMIC OR STONE COUNTERTOP. KITCHEN COUNTERTOP SHALL BE 36" HIGH. KITCHEN ISLANDS WHERE OCCURS SHALL BE 34" HIGH WITH 28" HIGH MIN. VERTICAL KNEE MINIMUM.	35	PROVIDE ADDITIONAL 12" WIDE VERTICAL GRAB BAR. REINFORCING FOR PORTABLE DROP DOWN GRAB BAR	45	DECK COATING LARR 25261 MANUFACTURER. URETHANE POLYMERS INTERNATIONAL, INC. PRODUCTS: DEXCELLENT II FIRE-RETARDANT ROOF COVERING AND WALKING DECK SYSTEM AND UPI DECK COATING ROOF COVERING.
2	INDICATES 36" WIDE ACCESSIBLE ROUTE	11	DUCT TO UPPER OR LOWER LEVEL - SEE MECHANICAL DRAWINGS	21	LINE OF SOFFIT ABOVE	29	FRESH AIR INTAKE - SEE MECHANICAL. USE MODEL SFX VENT LOUVER BY SEIHO.COM	36	VERTICAL ROOF DRAIN PIPE ENCLOSED IN DRYWALL CHASE DISCHARGES TO PLANTER.	46	ISLAND COUNTER TOP SHALL BE MAX. 34" ABOVE FINISH FLOOR. PROVIDE 19" MIN. KNEE AND TOE CLEARANCE FOR FORWARD APPROACH WHEELCHAIR ACCESS.
3	CABINET PANEL	12	30" WIDE WORKSPACE COUNTER W/ REMOVABLE BASE CABINETS	22	INSTALL BRaille SIGNAGE PER CBC SECTION 1143A.9 & 1143A.10	30	MEZZANINE STAIR: MAX. RISER HT. 7-3/4" AND MAX RUN 10"	37	UNIT ELECTRICAL SUB PANEL WITH HIGHEST OPERATING PACT AT 44" A.F.F. PER SHEET A1.8	47	GARAGE EXHAUST SHAFT DISCHARGE AT ROOF LEVEL. PROVIDE 2-HR SHAFT.
4	LOW CONSUMPTION WATER CLOSET IN 36" WIDE CLR. SPACE	13	ONE OF TWO 15" WIDE BREADBOARDS REQUIRED IN LIEU OF PROVIDING A 30" WIDE WORK SURFACE	23	STOVE EXHAUST DUCT - SEE MECHANICAL.	31	BATHROOM EXHAUST DUCT - SEE MECHANICAL. SEE UNIT PLAN SHEET NOTE 6.	38	RECESSED MEDICINE CABINET		
5	INDICATES REQUIRED RES. H.C. ACCESS CLR. SPACE. 30"x48" AT LAV., TUB & KIT. RANGE. 36"x48" AT WATER CLOSET.	14	GALVANIZED METAL SCUPPER PER: (A1.8) (A2.7)	24	42" HIGH METAL RAILING	32	DRYER EXHAUST DUCT - SEE MECHANICAL.	39	RECESS HOT/COLD WATER SUPPLY W/ DRAIN LINE.SEE PLUMBING DRAWINGS.		
6	5'-0" DIA. CLEAR H.C. CLEAR SPACE	15	NOT USED	25	30" WIDE, SINGLE BOWL KITCHEN SINK WITH GARBAGE DISPOSAL. BASE CABINET TO BE REMOVABLE WITH FINISH FLOORING BENEATH. INSULATE ALL PIPES.	33	LAVS SHALL BE 34" HIGH TO FINISH FLOOR. WITH REMOVABLE CABINETS. NO SPECIALIZED TOOLS REQUIRED TO REMOVE BASE CABINETS. COUNTER DEPTH SHALL BE 1'-9" CENTER OF LAV. SHALL BE 24" FROM WALL OR 18" FROM WALL WHEN THERE ARE NO BASE CABINETS. INSULATE ALL PIPES. REFER TO (A2.8) (A2.9)	40	40" WIDE GRAB BAR REINFORCEMENT PER SHEET A1.6		
7	24" LONG TOWEL BAR. PROVIDE 2x BLOCKING. USED 18" OR 12" LONG TOWEL BAR WHEN SPACE IS LIMITED.	16	NOT USED	26	BUILT-IN DISHWASHER			41	GRAB BAR REINFORCEMENT PER SHEET A1.6		
8	BUILT-IN CABINET ENCLOSURE WITH DOOR	17	2-HOUR CHUTE OR MECHANICAL SHAFT	27	30" ELEC. RANGE WITH MICROWAVE AND EXHAUST HOOD ABOVE.			42	UPPER WALL CABINET		
9	RECESSED ELECTRICAL OUTLET. SEE ELECTRICAL DRAWINGS	18	NOT USED					43	UNDER CABINET STRIP LIGHTING		
		19	LINE OF ROOF/BALCONY ABOVE.					44	NOT USED		



LADBS APPROVAL STAMP

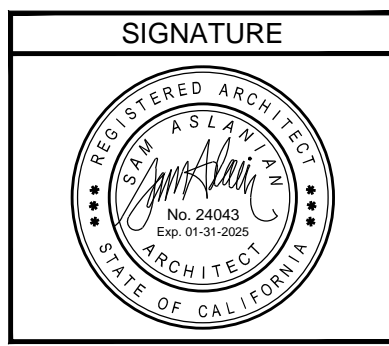
- NOTES:
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.13.
 - ALL DOOR BELLS OR SIGNAL DEVICES SHALL BE HARDWIRED.



H (215,315,411,511,606)

EXHIBIT "A"
Page No. 22 of 24
Case No. ADM-2024-5922-DB-HCA-RD1

SAM ASLANIAN ARCHITECT
19951 TURNBERRY DRIVE
TARZANA CA 91366
TEL: 818.383.3237
FAX: 818.301.2703
email: sam@aslanianarchitects.com
www.aslanianarchitects.com



OWNER
MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6807

CONSULTANT

PROJECT TITLE
63 UNIT APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS

DATE	ISSUED FOR

NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THE CONSULTANT'S PROFESSIONAL GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

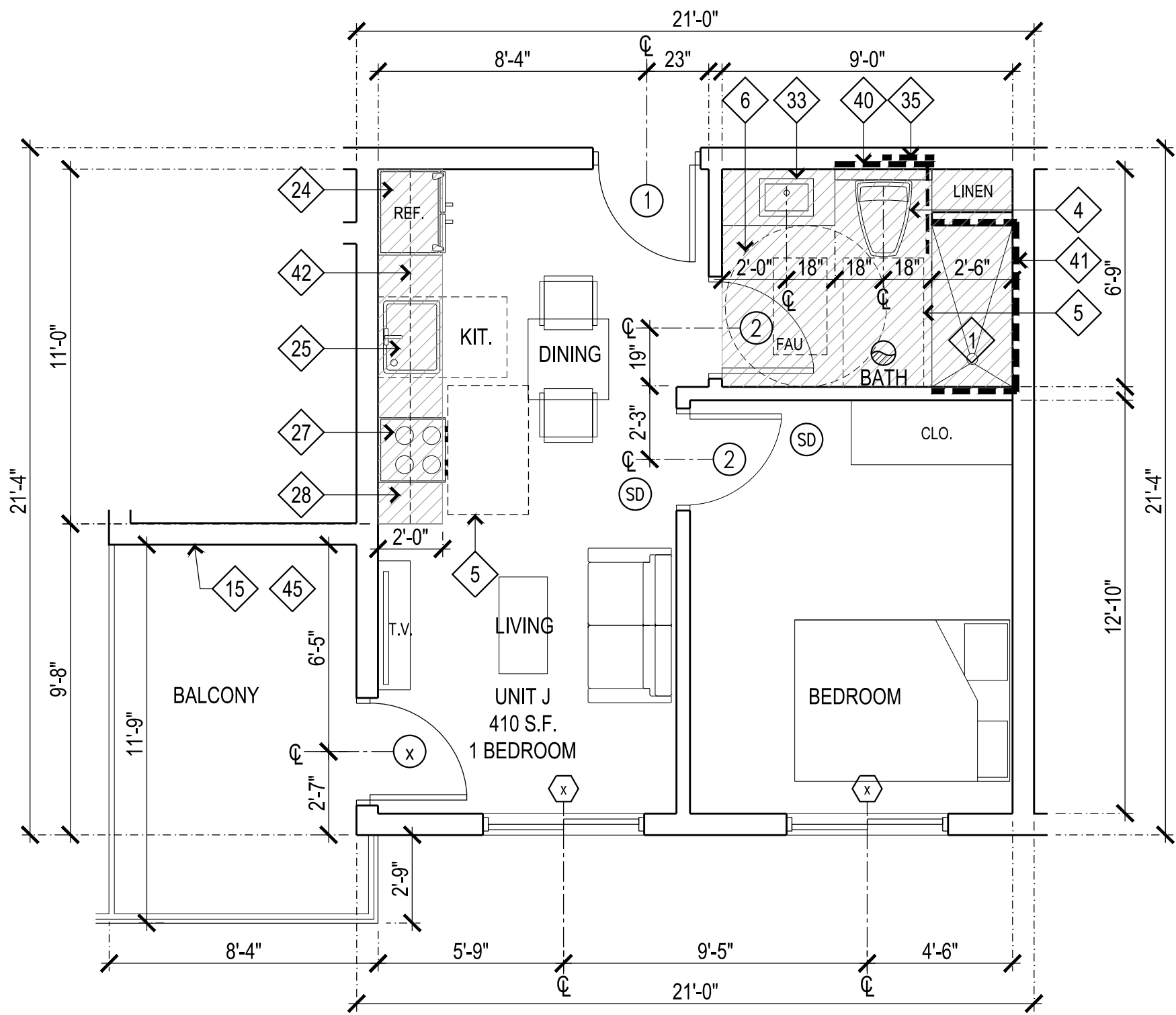
DATE	DRAWN
09-17-2024	

CHECKED

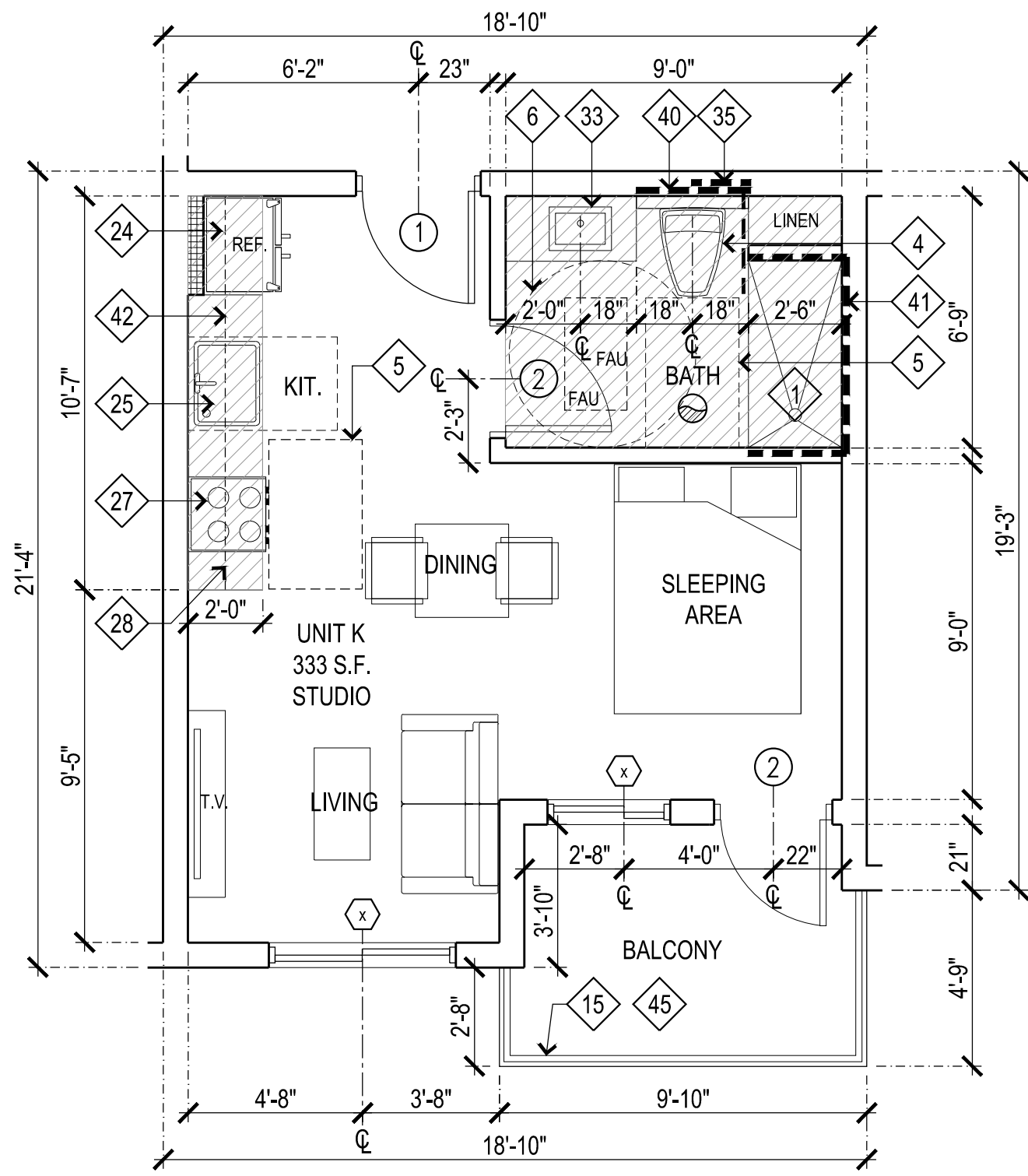
PROJECT
63 UNIT APARTMENT BUILDING

SHEET TITLE
UNIT PLANS
E, F, F1, G, H & L

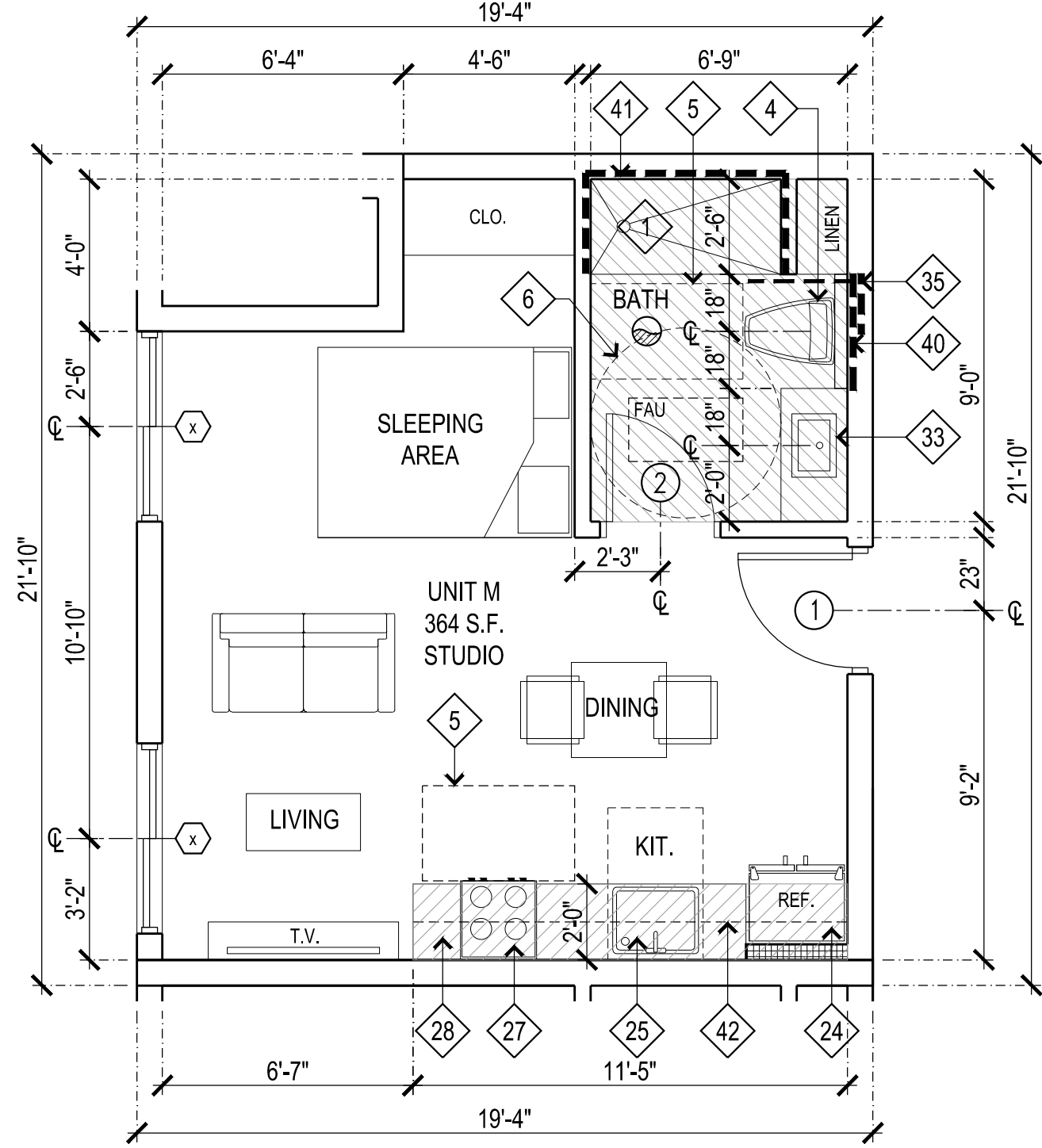
SHEET	OF
A6.2	



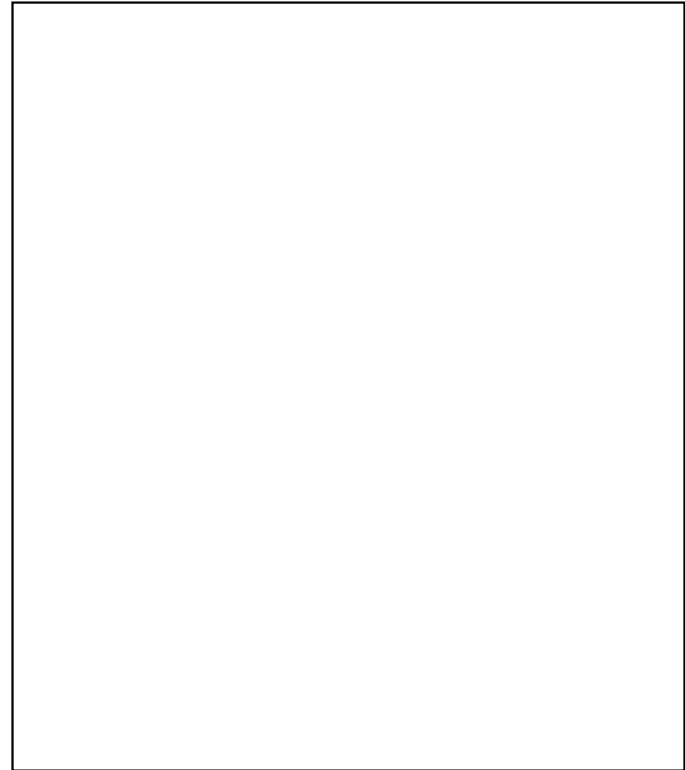
J (216,316,412,512,607)



K (202,302,402,502,602)



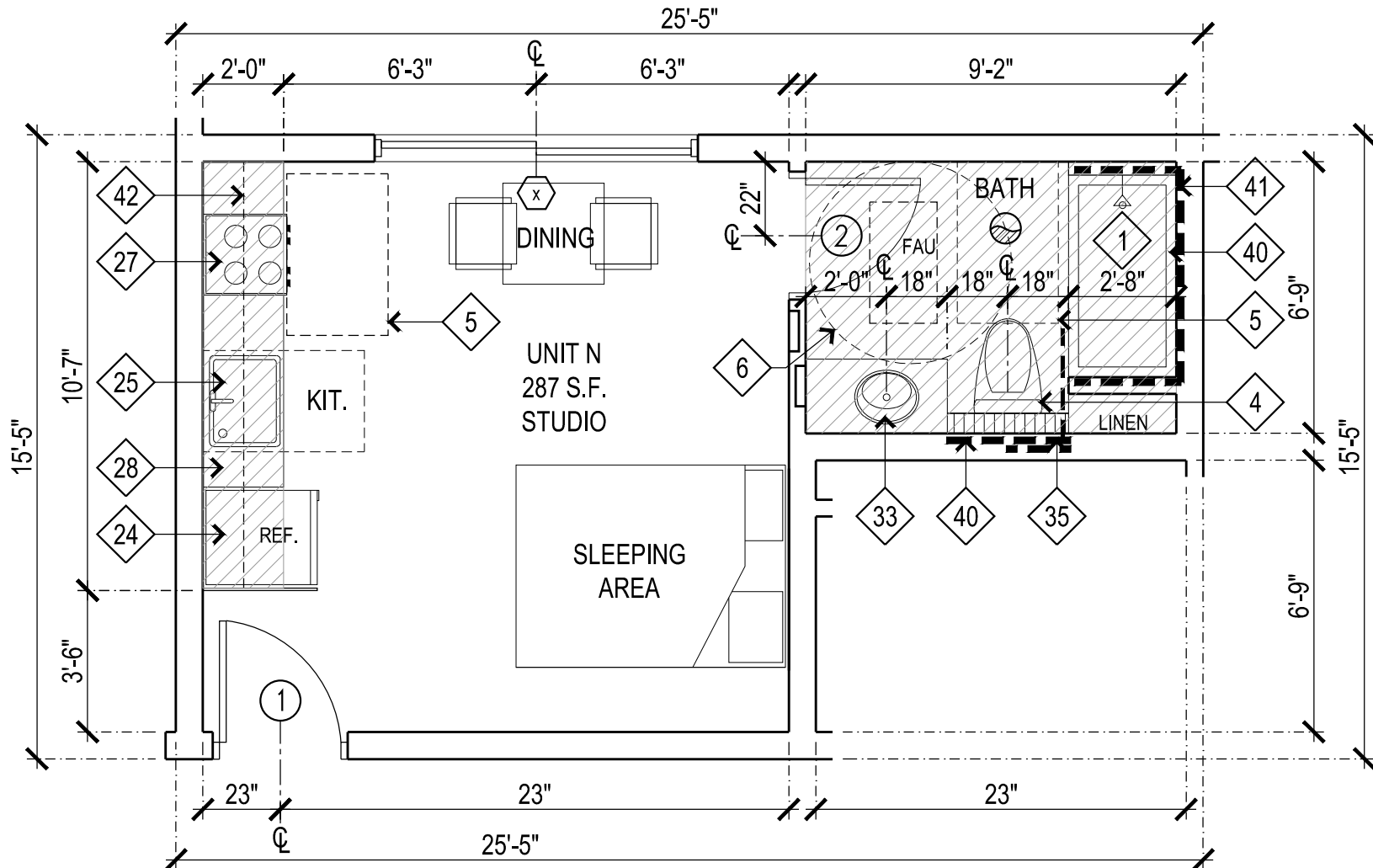
M (206,306,406,506,604)



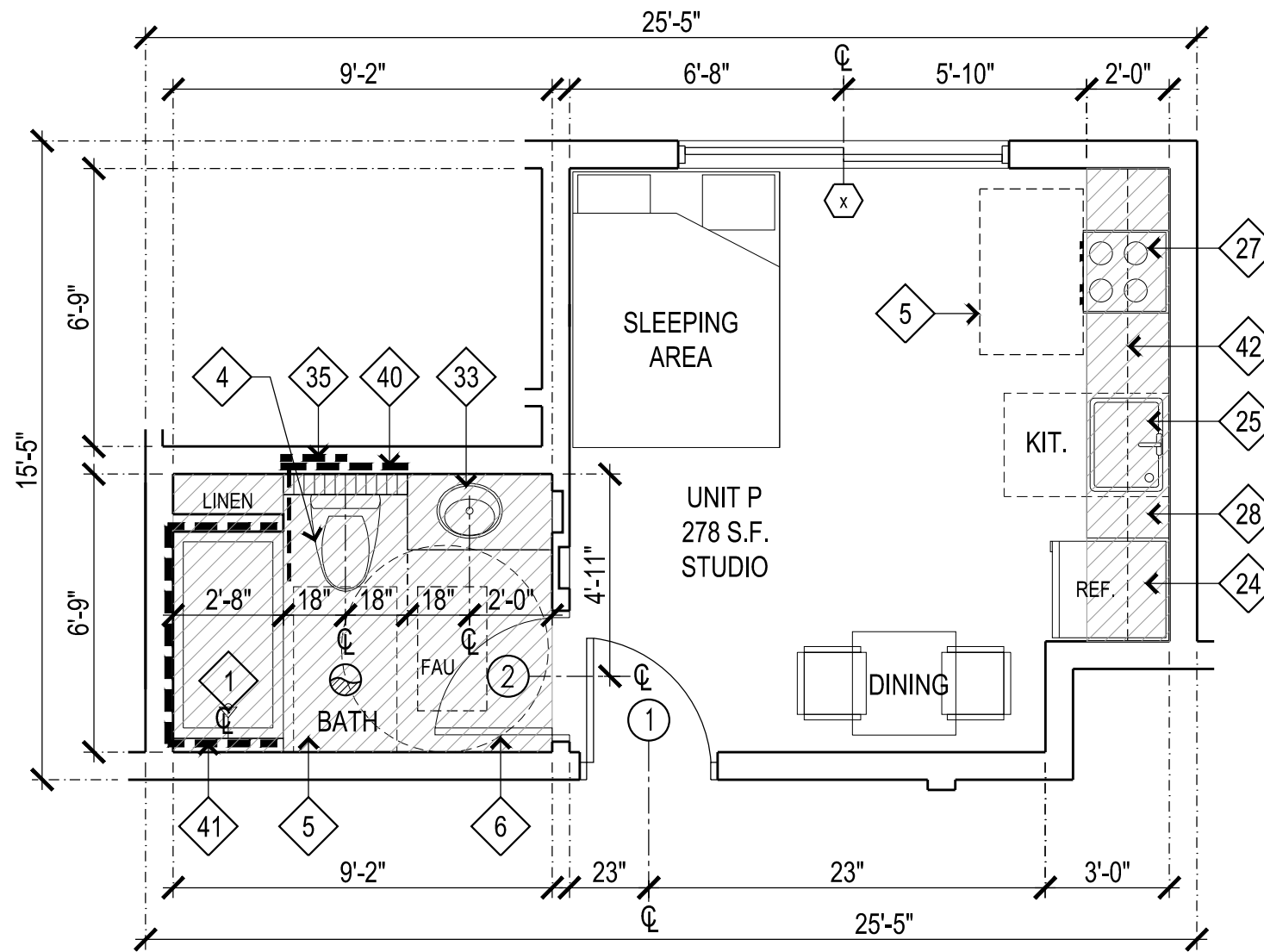
LADBS APPROVAL STAMP

- NOTES:
- INTERIOR FINISH MATERIALS APPLIED TO WALL AND CEILINGS SHALL BE TESTED AS SPECIFIED IN SECTION 803. SPECIFY THE CLASSIFICATIONS PER TABLE 803.13.
 - ALL DOOR BELLS OR SIGNAL DEVICES SHALL BE HARDWIRED.

EXHIBIT "A"
Page No. 23 of 24
Case No. ADM-2024-5922-DB-HCA-RED1



N (209)



P (210)

UNIT PLAN SHEET LEGEND		
	4" NOM. STUD WALL	
	6" NOM. INT. STUD WALL. REFER TO STRL. PLANS FOR ADDITIONAL 2x6 WALLS.	
	4" NOM. STUD FURRED WALL. PLUMBING WALL.	
	INDICATES 2-HR WALL W/ NO OPENINGS.	
	1-HOUR DWELLING SEPARATION WALL.	
	2-HOUR AREA SEPARATION WALL.	
	INDICATES FURRED CLG. AREA, U.N.O. FIELD VERIFY REQ. DEPTH W/ MECH. PLANS.	
	SMOKE AND CARBON MONOXIDE COMBINATION DETECTOR AS REQ. BY C.B.C. SEC. 907.2.6.3.3. SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE INDIVIDUAL UNIT. REQUIRED SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP.	

UNIT PLAN FINISH SCHEDULE LEGEND		
ROOM NAME	ROOM	N NONE
FLOOR MATERIAL	CEILING HEIGHT	GB GYP. BD. TAPED/PAINTED 1 COAT PAINT, PER SPEC.S.
BASE MATERIAL	CEILING MATERIAL	F GYP. BD. LIGHT ORANGE PEEL TEXTURE & FLAT LATEX PAINT PER SPEC.S.
CT CERAMIC TILE, PER SPEC.C	BC BROOM FINISH CONC.	S GYP. BD. LIGHT ORANGE PEEL TEXTURE & SEMI-GLOSS ENAMEL PAINT PER SPEC.S.
CP CARPET W/ PAD, PER SPEC.S	V VAULTED CEILING	G GYP. BD. LIGHT ORANGE PEEL TEXTURE & GLOSS ENAMEL PAINT PER SPEC.S.
SV SHEET VINYL, PER SPEC.S	VB VINYL BASE	
VCT VINYL COMPOSITION TILE, PER SPEC.S	WB WOOD BASE PRIMED & PAINTED PER SPEC.S.	
UNIT PLAN SHEET LEGEND		
	ENERGY STAR COMPLIANT EXHAUST FAN DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING CONTROLLED BY A READILY AVAILABLE HUMIDISTAT CAPABLE OF COMPLETE AIR CHANGE EVERY 15 MINUTES PER CBC 1203.4.2.1. SEE NOTE #23 & 24 FORM 16 SHT. A1.11	
	NOTES CEILING HEIGHT.	

UNIT PLAN SHEET NOTES	
1.	FOR ABBREVS, SYMBOLS & GEN. NOTES REFER TO SHEET A0.1.
2.	FOR ADDITIONAL DISABLED ACCESS, GRAB BAR AND WALL BLOCKING REQUIREMENTS REFER TO SHEETS A1.5 - A1.8 & A8.8 - A8.13.
3.	FOR DOOR AND WINDOW SCHEDULE, REFER TO SHEET A7.1.
4.	WALL SWITCHES, ELEC, TEL AND TV RECEPTACLES SHALL BE INSTALLED BETWEEN 15" AND 44" HGT. A.F.F.
5.	INSTALL SMOKE DETECTORS AS REQUIRED PER C.B.C. SECTION 310.9 & AS INDICATED ON THE PLANS.
6.	PROVIDE MECH. VENTILATION PER CBC SECTION 1202.2.1 IN ALL BATHROOMS AND SIM. ROOMS AS REQ. BY CODE WHETHER OPERABLE WINDOWS ARE PROVIDED OR NOT. ENERGY STAR, HUMIDISTAT CONTROLLED.
7.	DISCHARGE POINT FOR EXHAUST AIR SHALL BE AT LEAST 3' AWAY FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BLDG. C.B.C. SEC. 1203.3.
8.	INSTALL ONE TOWEL BAR AT ACCESS, BATHRM. AT +40" A.F.F. ALL OTHER LOCATIONS INSTALL AT +54" A.F.F.
9.	EVERY PRIMARY ENTRANCE TO A DWELLING UNIT REQUIRED TO BE ACCESSIBLE AND SHALL BE PROVIDED WITH A DOOR BUZZER, BELL, CHIME OR EQUIVALENT INSTALLATIONS MOUNTED A MAXIMUM OF 48 INCHES ABOVE THE FLOOR CONNECTED TO PERMANENT WIRING. (1132A.10)
10.	ALL KITCHENS SHALL INCLUDE 2-15" BREAD BOARDS.
11.	PROVIDE BLOCKING IN WALLS AT TOILET AND BATH TUB WALL FOR FUTURE GRAB BARS.

PLAN SHEET KEYNOTES									
1	BATHTUB WITH MIN. SIZE OF 30"x60". USE OWNER'S SPECIFIED MODEL. PROVIDE GRAB BAR REINFORCING PER A1.7	10	H.C. ACCESSIBLE FRONT LOADING WASHER OR DRYER BOTTOM OF LOWER LAUNDRY COMPARTMENT. OPENING SHALL BE MIN. 15" ABOVE FLOOR AND MAX. 36" ABOVE FLOOR.	20	INSTALL 1/4" THICK 12" DIA. CIRCLE W/ A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER AT RESTROOM CENTERED AT THE SR. AT HEIGHT OF 60" PER CBC SECTION 1127A.7.2	28	CERAMIC OR STONE COUNTERTOP. KITCHEN COUNTERTOP SHALL BE 36" HIGH. KITCHEN ISLANDS WHERE OCCURS SHALL BE 34" HIGH WITH 28" HIGH MIN. VERTICAL KNEE MINIMUM.	35	PROVIDE ADDITIONAL 12" WIDE VERTICAL GRAB BAR. REINFORCING FOR PORTABLE DROP DOWN GRAB BAR
2	INDICATES 36" WIDE ACCESSIBLE ROUTE	11	DUCT TO UPPER OR LOWER LEVEL - SEE MECHANICAL DRAWINGS	21	LINE OF SOFFIT ABOVE	29	FRESH AIR INTAKE - SEE MECHANICAL. USE MODEL SFX VENT LOUVER BY SEIHO.COM	36	VERTICAL ROOF DRAIN PIPE ENCLOSED IN DRYWALL CHASE DISCHARGES TO PLANTER.
3	CABINET PANEL	12	30" WIDE WORKSPACE COUNTER W/ REMOVABLE BASE CABINETS	22	INSTALL BRAILLE SIGNAGE PER CBC SECTION 1143A.9 & 1143A.10	30	BATHROOM EXHAUST DUCT - SEE MECHANICAL. SEE UNIT PLAN SHEET NOTE 6.	37	UNIT ELECTRICAL SUB PANEL WITH HIGHEST OPERATING PACT AT 44" A.F.F. PER SHEET A1.8
4	LOW CONSUMPTION WATER CLOSET IN 36" WIDE CLR. SPACE	13	ONE OF TWO 15" WIDE BREADBOARDS REQUIRED IN LIEU OF PROVIDING A 30" WIDE WORK SURFACE.	23	STOVE EXHAUST DUCT - SEE MECHANICAL.	31	DRYER EXHAUST DUCT - SEE MECHANICAL.	38	RECESSED MEDICINE CABINET
5	INDICATES REQUIRED RES. H.C. ACCESS CLR. SPACE. 30"x48" AT LAV., TUB & KIT. RANGE. 36"x48" AT WATER CLOSET.	14	42" HIGH METAL RAILING	24	30" WIDE REFRIG. SPACE WITH WATER FOR ICE MAKER.	32	LAVS SHALL BE 34" HIGH TO FINISH FLOOR. WITH REMOVABLE CABINETS. NO SPECIALIZED TOOLS REQUIRED TO REMOVE BASE CABINETS. COUNTER DEPTH SHALL BE 1-9" CENTER OF LAV. SHALL BE 24" FROM WALL OR 18" FROM WALL WHEN THERE ARE NO BASE CABINETS. INSULATE ALL PIPES. REFER TO	39	RECESS HOT/COLD WATER SUPPLY W/ DRAIN LINE.SEE PLUMBING DRAWINGS.
6	5'-0" DIA. CLEAR H.C. CLEAR SPACE	15	NOT USED	25	BUILT-IN DISHWASHER	33	EXPOSE CONCRETE WALK SURFACE SHALL BE LIGHT GREY UNCOLORED CONCRETE ON SECOND FLOOR. FOR BALCONIES ON LEVELS 3-6 USE PLY-DECK DECK COATING LARR 25375	40	40" WIDE GRAB BAR REINFORCEMENT PER SHEET A1.6
7	24" LONG TOWEL BAR. PROVIDE 2x BLOCKING. USED 18" OR 12" LONG TOWEL BAR WHEN SPACE IS LIMITED.	16	2-HOUR CHUTE OR MECHANICAL SHAFT	26	NOT USED	34	GRAB BAR REINFORCEMENT PER SHEET A1.6	41	UPPER WALL CABINET
8	BUILT-IN CABINET ENCLOSURE WITH DOOR	17	NOT USED	27	NOT USED			42	UNDER CABINET STRIP LIGHTING
9	RECESSED ELECTRICAL OUTLET. SEE ELECTRICAL DRAWINGS	18	LINE OF ROOF/BALCONY ABOVE.					43	NOT USED
		19						44	

SAM ASLANIAN
ARCHITECT
19951 TURNBERRY DRIVE
TARZANA CA 91356
TEL: 818.383.3237
FAX: 818.301.2703
email: sam@aslanianarchitects.com
www.aslanianarchitects.com

SIGNATURE

OWNER
MS. ARMINE NAZLOYAN
7937 FOOTHILL BLVD.
SUNLAND, CA 91040
CONTACT: VAHRAM
TEL: 818.267.6807

CONSULTANT

PROJECT TITLE
63 UNIT
APARTMENT BUILDING
7937 FOOTHILL BOULEVARD,
SUNLAND-TUJUNGA, CA 91040

DATE	REVISIONS
DATE	ISSUED FOR

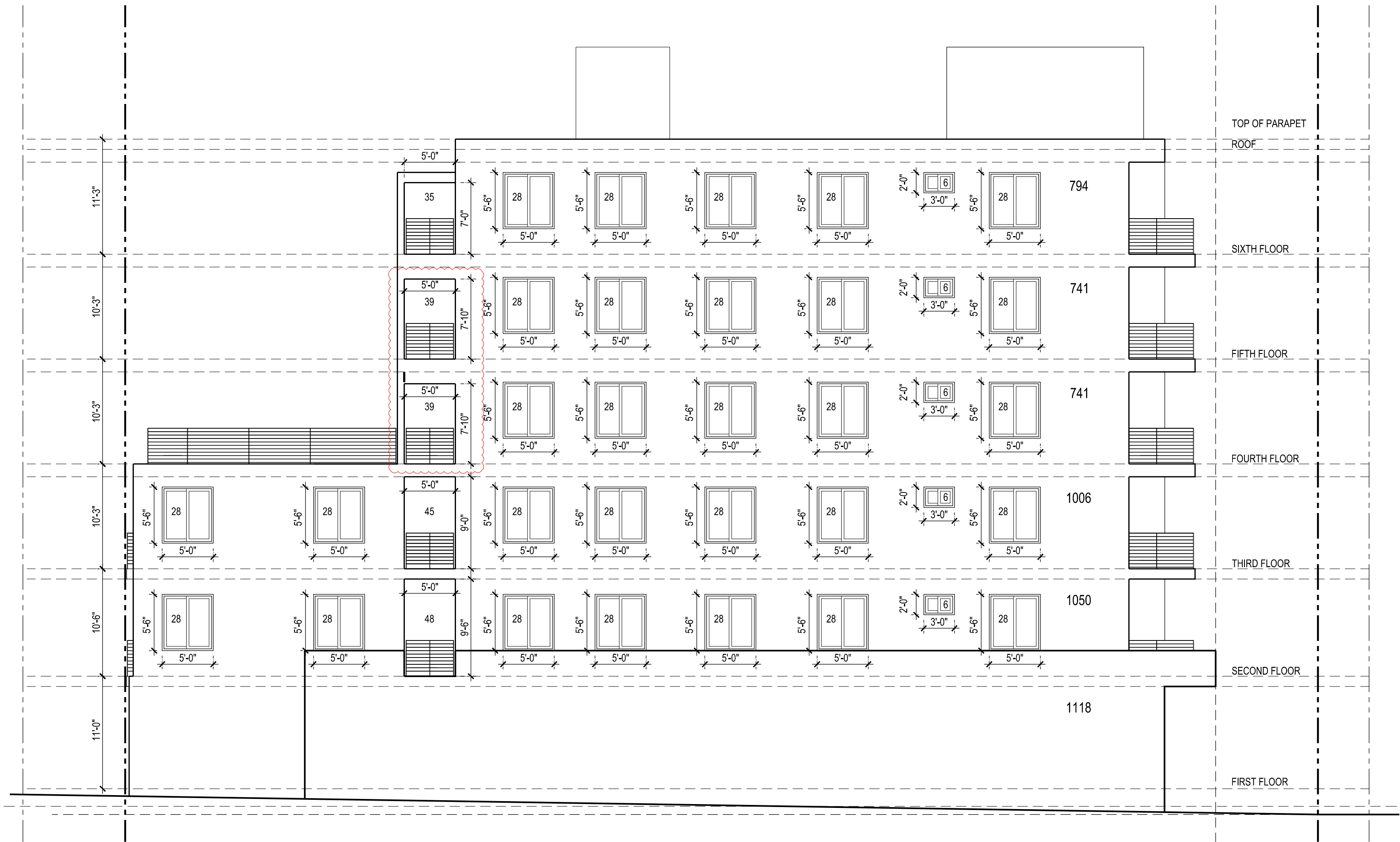
NOTES
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REUSE, REPRODUCTION OR PRODUCTION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS SHALL REMAIN WITH SAM ASLANIAN ARCHITECT, INC. WITHOUT PREJUDICE. SAM ASLANIAN ARCHITECT, INC. WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH MAY ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT. THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHERS' FAILURE TO OBTAIN AND/OR FOLLOW THE DESIGN PROFESSIONAL'S GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, AMBIGUITIES OR CONFLICTS WHICH ARE ALLEGED. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE ARCHITECT PRIOR TO COMMENCEMENT OF ANY WORK. CONSTRUCTION SHALL NOT START UNTIL A BUILDING PERMIT HAS BEEN ISSUED. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA-FACE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.

DATE
09-17-2024
DRAWN
CHECKED

PROJECT
63 UNIT APARTMENT
BUILDING

SHEET TITLE
UNIT PLANS
J, K, M, N & P

SHEET
OF
A 6.3



WEST ELEVATION - 25% MAX. PROTECTED OPENINGS

1/8"=1'-0"

ALLOWABLE EXT. WALL OPENING NORTH ELEV. 45% MAX. UNPROTECTED FOR 8'-0" FROM P.L.			
FLOOR	WALL AREA	ALLOWABLE OPENING	PROPOSED OPENING
1ST STORY ABV. GRADE PLANE	851 S.F.	382.95 S.F.	146 S.F.
2ND STORY ABV. GRADE PLANE	1052 S.F.	473.40 S.F.	271 S.F.
3RD STORY ABV. GRADE PLANE	1027 S.F.	462.15 S.F.	339 S.F.
4TH STORY ABV. GRADE PLANE	1027 S.F.	462.15 S.F.	402 S.F.
5TH STORY ABV. GRADE PLANE	1027 S.F.	462.15 S.F.	402 S.F.
6TH STORY ABV. GRADE PLANE	402 S.F.	180.90 S.F.	312 S.F.



NORTH ELEVATION - 45% MAX. PROTECTED OPENINGS

1/8"=1'-0"