

ABBREVIATIONS

AT	ASPHALT CONCRETE	MAS	MASONRY
A/C	AIR CONDITIONING	MAX	MAXIMUM
A/C	ANCHOR BOLT	MATL	MATERIAL
ABC	AGGREGATE BASE COURSE	MB	MARKER BOARD
AC	ACOUSTICAL CEILING	MED	MEDIUM
A.D.	ACCESS DOOR	MECH	MECHANICAL
ADJ	ADJACENT	MEZTL	MEZZANINE
AFF	ABOVE FINISH FLOOR	MFR	MANUFACTURER
AGG	AGGREGATE	MH	MANHOLE
ALT	ALTERNATE	MIN	MINIMUM
ALUM	ALUMINUM	MISC	MISCELLANEOUS
ANCH	ANCHOR ANCHORAGE	MSONRY	MASONRY OPENING
ANOD	ANODIZED	MOD	MODULAR
		MOV	MOVABLE
BD	BOARD	MTO	MOUNTED
BFF	BELOW FINISH FLOOR	MWP	METAL WALL PANEL (SYSTEM)
BLDG	BUILDING	(N)	NEW
BLK(G)	BLOCKING	NORTH	NORTH
BM	BENCH MARK	NA	NOT APPLICABLE
BO	BOTTOM OF	NIC	NOT IN CONTRACT
BOT	BOTTOM	NOM	NOMINAL
BRG	BEARING	NRC	NOISE REDUCTION COEFFICIENTS
BSMT	BASEMENT	NTS	NOT TO SCALE
BUR	BUILT UP ROOFING	NO	NUMBER
C	CHANNEL	OA	OVERALL
C/C	CENTER TO CENTER	OC	ON CENTER(S)
CAB	CABINET	OD	OUTSIDE DIAMETER
CB	CHALK BOARD, CATCH BASIN	OFF	OFFICE
CEM	CEMENT	OH	OVERHEAD, OPPOSITE HAND
CG	CORNER GUARD	OPG	OPENING
CG	CAST IRON	OPP	OPPOSITE
CIP	CAST IN PLACE	ORD	OVERFLOW ROOF DRAIN
CJ	CONTROL JOINT	OS	OUTSIDE
CLK	CLOCK		
CLG	CEILING, CHAIN LINK GATE	P.PNT	PAINT(ED)
CLC	CLEARANCE	PAR	PARALLEL
CLP	CLAMP	PART	PARTITION
CMU	CONCRETE MASONRY UNIT	PART BD	PARTICLE BOARD
CO	CLEAN OUT	PC	PIECE
COL	COLUMN	PCF	PRECAST CONCRETE
COMB	COMBINATION	PCF	POUNDS PER CUBIC FOOT
CONC	CONCRETE	PERF	PERFORATE(D)
CONN	CONNECTION	PERIM	PERIMETER
CONST	CONSTRUCTION	PERP	PERPENDICULAR
CONT	CONTINUOUS OR CONTINUE	PREFAB	PREFABRICATED
CORR	CORRIDOR, CORRUGATED	PL	PANEL, JOINT, PLASTER, PLATE, PROPERTY LINE
CFT	CANISTER	PLBG	PLUMBING
CSK	COUNTERSINK	PLF	PLASTIC LAMINATE
CT	CERAMIC TILE	PNL	POUNDS PER LINEAL FOOT
CU FT	CUBIC FEET	POT	PANEL
CW	COLD WATER	PO	POWER OPERATED
		POT	PATH OF TRAVEL
D	DEPTH	PAIR	PAIR
DEMO	DEMOLISH, DEMOLITION	PSF	POUNDS PER SQUARE FOOT
DF	DRINKING FOUNTAIN	PSI	POUNDS PER SQUARE INCH
DG	DECOMPOSED GRANITE	PT	POINT
DIA	DIAMETER	PTD	PAPER TOWEL DISPENSER
DIAG	DIAGONAL	PTD	PAPER TOWEL DISPENSER
DM	DIMENSION	PTR	POLYVINYL CHLORIDE
DISP	DISPENSER	PVMT	PAVEMENT
DN	DOWN	PWD	PLYWOOD
DTO	DAMP/PROOFING		
DP	DOOR	QTR	QUARTER
DS	DOWNSPOUT	QTY	QUANTITY
DTL	DETAIL		
DWG	DRAWING	R	RADIUS, RISER, ROUND
DWC	DRYWALL CHANNEL	RA	RETURN AIR
		RB	RESILIENT BASE
(E)	EXISTING	RCD	REFLECTED CEILING PLAN
EA	EAST	RD	ROOF DRAIN
EAF	ELECTRIC	REF	REFERENCE
EDF	DRINKING FOUNTAIN	RELO	RELOCATION
EF	EACH FACE	REPL	REPLACE
ELEC	ELECTRIC(AL)	RES	RESILIENT
ELEV	ELEVATION, ELEVATOR	REV	REVISION(S), REVISED
EMER	EMERGENCY	RFG	RIGID FIBERGLASS
EP	EPOXY PAINT	RH	RIGHT HAND
EQ	EQUAL	RM	ROOM
EQUIP	EQUIPMENT	RO	ROUGH OPENING
ES	EXPOSED STRUCTURE	ROW	RIGHT OF WAY
EST	EACH WAY	REQ'D	REQUIRED
EW	ELECTRIC WATER COOLER	RWL	RAINWATER LEADER
EWC	EXCAVATE(ION)		
EXC	EXISTING	S	SEALED, SOUTH
EXP	EXPANSION	(S)	SURFACE MOUNTED
EXT	EXTERIOR	SCHED	SOLID CORE
		SEC	SCHEDULE
F	FARENHEIT	SD	SECTION
FA	FIRE ALARM	SD	STORM DRAIN
FAB	FABRICATE	SIDING	SIDING
FD	FLOOR DRAIN	SQ	SQUARE FEET
FDN	FOUNDATION	SHT	SHEET
FE(C)	FIRE EXTINGUISHER (CABINET)	SHWR	SHOWER
FF	FINISH FLOOR	SIM	SIMILAR
F.G.	FINISH GRADE	SM	SHEET METAL
FHC	FIREHOSE CABINET	SP	SOUNDPROOF
FHR	FIREHOSE RACK	SPECS	SPECIFICATIONS
FIN	FINISHED	SPKR	SPEAKER
FJ	FALSE JOINT	SQ	SPECIAL
FLA	FLASHING	SQ	SQUARE
FLEX	FLEXIBLE	SS	SERVICE SINK
FLOOR	FLUORESCENT	SS	STAINLESS STEEL
FO	FACE OF	ST	STREET
FP	FIRE-PROOF	STC	SOUND TRANSMISSION
F.S.	FINISH SLAB	STD	STANDARD
FS	FIELD SURVEY	STD	STANDARD
FRP	FIRE RETARDANT	STRUC	STRUCTURAL
FTG	FIBER REINFT PLASTIC	SUSP	SUSPENDED
FUR	FOOT, FEET	SW	SEAMLESS VINYL
FUT	FURRED(ING)	SW	SWITCH
	FUTURE	SYM	SYMMETRY(ICAL)
		T	THICKNESS
GA	GAGE (GAUGE)	TD	TRENCH DRAIN
GALV	GALVANIZED	TB	TACKBOARD
GC	GENERAL CONTRACT(OR)	T.B.R.	TO BE REMOVED
GD	GRADE	TEL	TELEPHONE
GL	GLAZING	TEMP	TEMPERATURE, TEMPORARY
GWB	GYPSONUM WALLBOARD	THK	THICKNESS
GYP	GYPSONUM	TO	TOP OF
		TOC	TOP OF CONCRETE
H(T)	HEIGHT	TOIL	TOILET
HB	HOSE BIBB	TOS	TOP OF STEEL
HDBD	HOLLOW CORE	TOW	TOP OF WALL
HD	HARDBOARD	TYP	TYPICAL
HDWD	HEAVY DUTY		
HDWR	HARDWOOD	U	URINAL
HM	HOLLOW METAL	UC	UNDERGROUND
HOR	HIGH POINT	UL	UNDERWRITERS LABORATORY
HR	HOUR	UNF	UNFINISHED
HVAC	HVAC	UNO	UNLESS NOTED OTHERWISE
	AIR CONDITIONING/	VCT	VINYL COMPOSITION TILE
HW	HOT WATER	VERT	VERTICAL
		VNR	VENER
ID	INSIDE DIAMETER	WVC	VINYL PLASTER
IE	INVERT ELEVATION		VINYL WALL COVERING
IN	INCLUDING	W	WIDTH, WIDE, WEST
INCL	INSULATION	W/O	WITHOUT
INSUL	INTERIOR	W/W	WALL TO WALL
		WC	WATER CLOSET
JC	JANITOR'S CLOSET	WD	WOOD
JT	JOINT	WDW	WINDOW
		WH	WALL HUNG, WATER HEATER
KD	KNOCKED DOWN	WM	WIRE MESH
KP	KICK PLATE	WP	WATERPROOFING
		WR	WATER REPELLENT
L	LENGTH, LONG	WS	WEATHERSTRIP
LAB	LABORATORY	WSCOT	WAINSCOT
LAM	LAMINATE	WWF	WEIGHT
LAV	LAVATORY	YD	YARD
LF	LINEAL FEET		
LH	LEFT HAND		
LL	LONG LEG		
LLH	LONG LEG HORIZONTAL		
LP	LOW POINT		
LTWT	LIGHTWEIGHT		
LVR	LOUVER		

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/ FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND GIVE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CONFIRM. DO NOT SCALE DRAWING.

# ABRAHAMIAN RESIDENCE

## 8040 W. McGroarty Street, Sunland, CA 91040

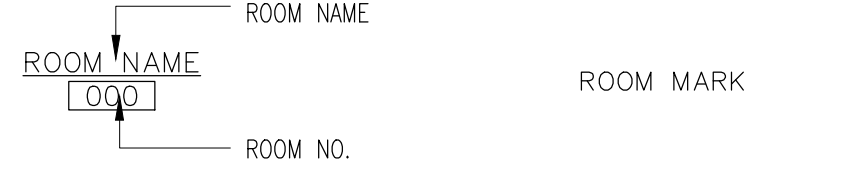
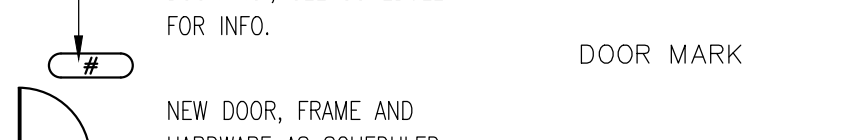
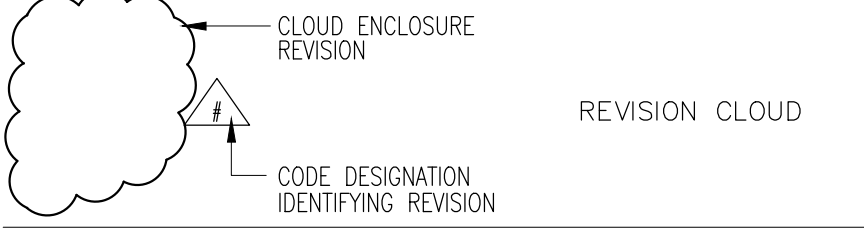
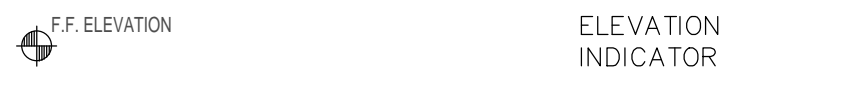
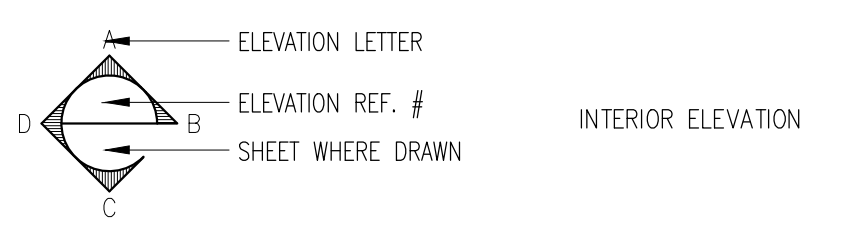
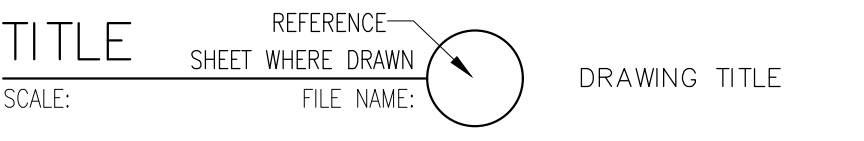
# ACCESSORY DWELLING UNIT

# AND ROOM ADDITION

## "Building Department Submittal"

## "FOR CONSTRUCTION"

SYMBOLS



GENERAL NOTES

- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS AS SHOWN WILL GOVERN LOCATIONS.
- DIMENSIONS SHOWN ON LARGE SCALE DRAWINGS AND/OR DETAILS, SHALL TAKE PRECEDENCE OVER SMALL DRAWINGS.
- NOTHING CONTAINED IN THESE DRAWINGS OR IN ANY ACCOMPANYING CONTRACT DOCUMENT SHALL CREATE ANY CONTRACTUAL RELATIONSHIP BETWEEN THE CONTRACTOR AND THE BUILDINGS OWNER.
- HORIZONTAL DIMENSIONS ARE TO FINISH FACE OF WALL OR FACE OF EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.
- VERTICAL DIMENSIONS AND ELEVATIONS ARE TO FINISH MATERIALS UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND FINISHES INDICATED ON THE CONTRACT DOCUMENTS SHALL BE NEW AND UNUSED, UNLESS OTHERWISE NOTED.
- NO COMBUSTION EQUIPMENT ALLOWED. ANY EQUIPMENT OR APPLIANCE USED FOR SPACE HEATING, WATER HEATING, COOKING, CLOTHES DRYING, LIGHTING, OR OTHER TYPE OF EQUIPMENT AND/OR APPLIANCE THAT USES FUEL GAS.

PROJECT DATA

A. THE ZONING FOR THE SUBJECT IS RE40-1 ZONE. THE GENERAL PLAN LAND USE DESIGNATION IS LOW RESIDENTIAL.

- BUILDING PERMIT INFORMATION  
BUILDING ADDRESS: Room Addition & detached accessory dwelling unit  
8040 W. McGroarty Street  
Sunland, CA 91040  
BUILDING OWNER: Abrahamian Residence  
8040 W. McGroarty Street  
Sunland, CA 91040  
PHONE:  
LOT CUT DATE: 07/22/1954; 09/04/1953; 02/02/1962  
CONSTRUCTION TYPE: TYPE V-A  
A.P.N.: 2559031021  
TRACT: TR 3155  
LOT: LT 587  
BLOCK: NONE  
LOT AREA: 27,278.3 SQ. FT.  
OCCUPANCY: SINGLE FAMILY RESIDENCE  
NUMBER OF FLOORS: SINGLE LEVEL (ABOVE GRADE)  
EXISTING RESIDENCE FLOOR AREA: EXISTING 2,720 SQ. FT. (FULLY SPRINKLERED)  
PROPOSED ADDITION: 286 SQ. FT. (MODIFY (E)SPRINKLER SYSTEM TO ACCOMMODATE ADDITION)  
NEW ACCESSORY DWELLING UNIT: 956 SQ. FT. (FULLY SPRINKLERED)  
SCOPE OF WORK: SEE PROJECT DESCRIPTION BELOW

- C.E.C. TITLE 24/DISABLE ACCESS COMPLIANCE  
THE PROJECT SHALL COMPLY WITH C.A.C. TITLE 24 FOR ENERGY COMPLIANCE AND DISABLED (ADA) ACCESS REQUIREMENTS.
- CODE COMPLIANCE  
THE PROJECT SHALL COMPLY WITH CODES, ORDINANCES, OR LAWS HAVING JURISDICTION ON THE PROJECT. WHICH INCLUDE, BUT ARE NOT LIMITED TO:  
2022 CALIFORNIA BUILDING CODE (CBC).  
2022 CALIFORNIA ELECTRICAL CODE (CEC).  
2022 CALIFORNIA MECHANICAL CODE (CMC).  
2022 CALIFORNIA PLUMBING CODE (CPC).  
2022 CALIFORNIA ENERGY CODE.  
2022 CALIFORNIA FIRE CODE (CFC).  
2022 CALIFORNIA GREEN BUILDING CODE.

THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.

THE APPROVAL OF THESE PLANS AND SPECIFICATIONS DOES NOT PERMIT THE VIOLATION OF ANY SECTION OF THE BUILDING CODE, MUNICIPAL ORDINANCES OR STATE LAWS- 2022 CBC SECTION 105.4

- SEPARATE PERMITS  
PROVIDE SEPARATE PERMITS FOR NEW ADU FIRE SPRINKLER SYSTEM. THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.

PROJECT DESCRIPTION

MINIMAL DEMOLITION (SITE PREPARATION) FOR PROPOSED HOUSE ADDITION AND GROUND UP CONSTRUCTION OF NEW ACCESSORY DWELLING UNIT. ALL EXISTING UTILITIES (I.E. WATER, ELECTRICAL, GAS ETC.) SHALL BE PREPARED FOR RE-USE IN NEW CONSTRUCTION. CONCRETE WALKWAYS. CONSTRUCTION OF SINGLE LEVEL ADU UNIT (956 SQ. FT.) W/ NEW PARTITIONS, FLOOR AND CEILING FINISHES AND ROOF W/ ASPHALT ROOFING SYSTEM MATCHING EXISTING, ADU SHALL BE FULLY SPRINKLERED. UTILITIES (ELECTRICAL, WATER, SEWER) MODIFIED TO SUITE NEW LAYOUT AND CONSTRUCTION. HOUSE ADDITION (286 SQ. FT.) W/ NEW PARTITIONS, FLOOR & CEILING FINISHES AND ROOF EXTENSION MATCHING EXISTING.

SHEET INDEX

- T-1.1 COVER SHEET
- T-1.2 GREEN NOTES, FORMS & ENERGY NOTES
- T-1.3 GREEN NOTES, FORMS & ENERGY NOTES (CONT.)
- T-1.4 SINGLE FAMILY DWELLING GENERAL NOTES

- A-1.1 OVERALL SITE PLAN & NOTES
- A-1.2 PARTIAL SITE DEMOLITION PLAN, ELEVATIONS & NOTES
- A-1.3 PARTIAL SITE NEW CONSTRUCTION PLAN, DETAILS & NOTES

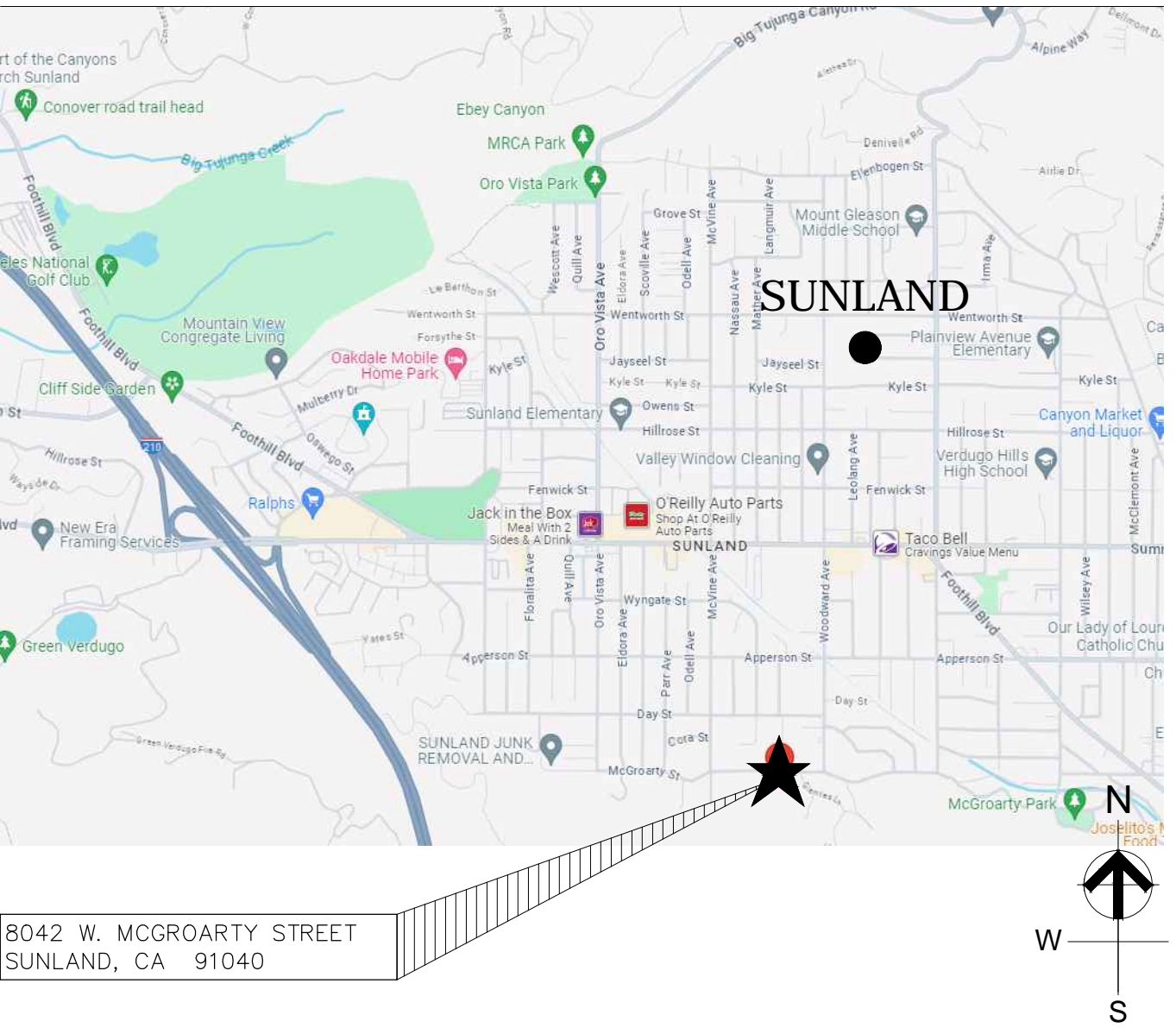
- A-2.1 ACCESSORY DWELLING UNIT PLANS, NOTES & LEGENDS
- A-2.2 HOUSE ADDITION PLANS, NOTES & LEGENDS
- A-2.3 ROOF PLANS & DETAILS
- A-2.4 INTERIOR ELEVATIONS

- A-3.1 EXTERIOR BUILDING ELEVATIONS & NOTES
- A-4.1 BUILDING SECTIONS & DETAILS

- A-6.1 DOOR & FINISHES SCHEDULE, TYPES & LEGEND
- A-6.2 DOOR & WINDOW DETAILS & TRANSITIONS

- A-7.1 MISCELLANEOUS DETAILS & SECTIONS
- A-7.2 MISCELLANEOUS DETAILS & SECTIONS

VICINITY MAP



ARCHITECTURE . ENGINEERING

408 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLADarck Design Corp. These are available for limited review and evaluation by client, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

COVER SHEET

BOLADarck Design + N. Battle A.I.A. Architect, Inc.

Revisions : Date :

Plan Check Submittal -

Back Check 1 03/03/2025

Designer : JPB

Manager : -

Date : 02/22/2025

Job No : -

Drawing No :

# T-1.1





**CITY OF LOS ANGELES**  
**DEPARTMENT OF BUILDING AND SAFETY**

FORM  
GRN 11

2020 Los Angeles Green Building Code Tables 4.504.1, 4.504.2, 4.504.3, 4.504.5, 5.504.4.1, 5.504.4.2, 5.504.4.3, 5.504.4.5

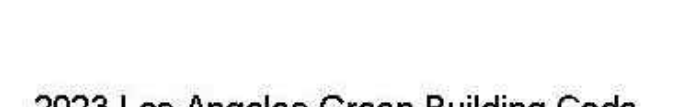
1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
6. Trash and construction-related solid waste must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

(Rev. 01/01/20) Page 1 of 1 [www.ladts.org](http://www.ladts.org)



**FORM**  
**GPB 9**

(Rev. 07/11/23) Page 1 of 2 [www.iadls.org](http://www.iadls.org)

FORM  
GPN 9

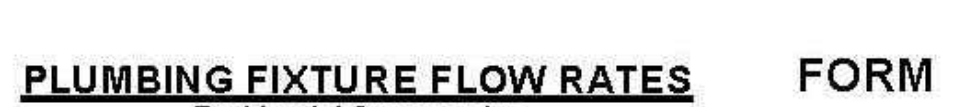
2023 Los Angeles Green Building Code

(Rev. 07/11/23) Page 2 of 2 [www.ladts.org](http://www.ladts.org)



For each new dwelling and townhouse, provide a listed raceway that can accommodate a dedicated 200-250V branch circuit. The raceway shall not be less than size 1/2" (nominal) EMT, flexible conduit, solid conduit, or flexible non-metallic conduit, and shall terminate into listed cabinet, box, or other enclosure in close proximity to prepared location of any V-charging. The panel or sub-panel may provide capacity to install a 40-ampere minimum dedicated branch circuit and may be required to permit installation of a 60-ampere minimum dedicated branch circuit. The service panel or sub-panel circuit directory shall identify the overcurrent protective device (service panel or sub-panel circuit V-charging an "EVC APABLE") in accordance with location shall be permanently and visibly marked as (A.106.1.4)	21. At all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.41.0.1, shall be completed and placed in the equipment room. (A.106.1.5)
22. All new gas fireplaces must be direct-vented, sealed combustion. Wood burning appliances are prohibited per AQMD Rule 445. (A.503.1, A.940.1) (A.106.1.6)	22. The VOC content of the finished floor for the verification. (A.503.1)
23. All plastic and sheet metal air distribution components of operations shall be covered with vinyl, plastic, or sheet metal until the final finish is applied. (A.106.1.7)	23. Paints and coatings, adhesives, caulks and sealants shall comply with the Volatile Organic compound (VOC) limits listed in Tables A.504.1 and A.504.3. (A.504.1)
24. For permit parking area serving Recospecimens, the electrical system shall have a permit capacity simultaneously charge all designated EV space at the maximum rated ampacity of the Electric Vehicle Supply Equipment (EVSE). Design shall be based upon a 40-ampere minimum branch circuit. The raceway shall not be less than size 1/2" (nominal) EMT, flexible conduit, solid conduit, or flexible non-metallic conduit, and shall terminate into a listed cabinet, box, or other enclosure in close proximity to prepared location of any V-charging. The panel or sub-panel circuit directory shall identify the overcurrent protective device (service panel or sub-panel circuit V-charging an "EVC APABLE") in accordance with location shall be permanently and visibly marked as (A.106.1.4)	24. The VOC content of the finished floor for the verification. The manufacturer's specification listing VOC content for all applicable products shall be readily available at the time of construction. (A.503.1)
25. Residential buildings with less than three bays with roof slope > 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. (A.106.1.8)	25. All new carpet and carpet cushions installed in the building interior shall meet the testing and product requirements of one of the following (A.504.3): - Carpet and Rug Institute's Green Label Plus Program - Green Label Plus for Carpet Cushions - NSF/ANSI 140 at the cold level - Green Label Plus for System Inks and Adhesives (GLPI) (A.504.3)
26. Residential buildings with less than three bays with roof slope > 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. (A.106.1.9)	26. The VOC emission data received resulting through compliance with the product of the following (A.504.4): - VOC emission data listed in the CDPHS High Performance Products and Materials Catalog - Green Label Plus for Carpet Cushions - Certification under the Resilient Floor Covering Institute (RFCI) FloorScore - Green Label Plus for System Inks and Adhesives (GLPI) (A.504.4)
27. Residential buildings with less than three bays with roof slope > 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. Roofs with slope of 2:12 shall have a 3-year or greater thermal emittance of at least 0.85. (A.106.1.10)	27. New hardwood, plywood, particle board, and medium density fiberboard composite wood products used in the building shall meet the formaldehyde limits specified in Table A.504.5. (A.504.5)
28. The required hardware used to reduce heat island effects shall have a solar reflective value of at least 0.30 as determined per ASTM E919 or ASTM E4309. (A.106.1.11)	28. The Formaldehyde Emissions Verification Checklist, Form GEN-1 shall be completed prior to final inspection approval. (A.504.6)
29. The flow rates for all plumbing fixtures shall comply with the maximum flow rates listed in Section 4.303.1. (A.303.1)	29. Mechanically ventilated buildings shall provide regularly occupied areas of the building with a MERV 13 filter for outside and return air. Filters shall be installed prior to final inspection and shall be replaced in accordance with the manufacturer's plan shall be included in the operation and maintenance manual. (A.504.7)
30. When a shower is served by more than one showerhead, the combined flow rate of all showerheads shall not exceed 10.5 gpm. If the showerhead is not replaced within 15 minutes after the shower is served, the showerhead shall be designed to allow only one showerhead to be in operation at a time. (A.303.1.2)	30. A 6-inch depth thickness of 2" or larger clean aggregate shall be provided for proposed sub-grade construction. A vapor barrier shall be provided in direct contact with concrete for proposed sub-grade construction. (A.505.2)
31. Installed automatic irrigation system controllers shall be approved or soil-based controllers. (A.505.1, A.502.7)	31. Building materials with visible signs of water damage shall not be installed. Wall and ceiling framing shall not be exposed until it is inspected and found to be satisfactory. (A.505.3)
32. Fire projects that include landscape work, the Landscape Certification, Form GEN-12, shall be completed prior to final inspection approval. (State Assembly Bill No. 1881) (A.505.4)	32. Newly installed outdoor exhaust fans shall be ENERGY STAR compliant and be designed to terminate to the outdoors exhaust fan. Fans must be controlled by a humidity sensor and shall be readily accessible. Provide the manufacturer's cut sheet for verification. (A.506.1)
33. Annual surface around pipes, electric cables, conduits, or other openings in the building shall be finished with a durable, non-slip, slip-resistant material. The material shall be finished with a durable, non-slip, slip-resistant material. The material shall be finished with a durable, non-slip, slip-resistant material. The material shall be finished with a durable, non-slip, slip-resistant material. (A.506.2)	33. A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.100 through 110.102 shall be provided to the building official. (A.506.3)
34. Materials delivered to the construction site shall be protected from rain or other sources of moisture. (A.407.4)	34. The heating and air-conditioning systems shall be sized and designed according to the information from Energy Code Sections 110.100 through 110.102 shall be provided to the building official. (A.506.3)
35. Only City of Los Angeles permitted hauler will be used for hauling of construction materials. (A.408.1)	35. The heating and air-conditioning systems shall be sized and designed according to the information from Energy Code Sections 110.100 through 110.102 shall be provided to the building official. (A.506.3)

(Rev. 07/11/23) Page 1 of 1 [www.ladbs.org](http://www.ladbs.org)



1. Kitchen Faucets shall not have a flow rate less than 0.8 gpm at 20 psi.  
2. Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2 gpm @ 60psi and must default to a maximum flow rate of 1.5 gpm after the increase.  
3. Where competing faucets are unavailable, aerators or other means may be used to achieve reduction.  
4. Kitchen faucets with a maximum 1.5 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout.  
5. Single and dual flush water closets with a maximum flow rate of 1.28 gallons or less.  
Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME A112.19.25.2.  
Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A112.19.2.2 and ASME A112.19.14.

(Rev. 01/01/23) Page 1 of 1 [www.la-dbs.org](http://www.la-dbs.org)



## **PLUMBING SYSTEM**

1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter and submeter within common areas and within each individual dwelling unit. (4.303.3)
2. Water use reduction shall be met by complying with one of the following:
  - A. Provide a 20% reduction in the overall potable water use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as established in Table 4.303.4.1, shall be provided, or
  - B. New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or
  - C. Plumbing fixtures shall use recycled water.**Exception:** Fixture replacements (4.303.4)
3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)
4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use. (4.304.3)
5. In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose bibbs. (4.304.4)
6. Provide a cover having a manual or power-operated recirculating system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered. (4.304.5)
7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basin to be used for a future gray-water irrigation system. (4.305.1)
8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los Angeles Plumbing Code. (4.305.2)
9. In new buildings of 25 stories or less, the cooling towers shall comply with one of the following:
  - A. Shall have a minimum of 6 cycles of concentration (blowdown); or
  - B. A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.1)
10. In new buildings over 25 stories, the cooling towers shall comply with all of the following:
  - A. Shall have a minimum of 6 cycles of concentration (blowdown); and
  - B. 100% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.2)
11. Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be discharged to the sewer. (4.305.4)
12. Provide a hot water system complying with one of the following (Los Angeles Plumbing Code Section 610.4.1.1):
  - A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before hot water arrives.
  - B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire to the fixture shall contain a maximum of 0.6 gallons.
  - C. Residential units having individual water heaters shall have a compact hot water system that meets all of the following:
    - a. The hot water supply piping from the water heater to the fixtures shall be the most direct path.
    - b. The total developed length of pipe from the water heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California Energy Code Residential Appendix.
    - c. The hot water supply piping shall be installed and insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix.

## **IRRIGATION SYSTEM**

12. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape and existing landscape areas. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity. (4.304.1)

(Rev. 01/01/23) Page 1 of 1 [www.ladbs.org](http://www.ladbs.org)

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLAardark Design Corp. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

GREEN NOTES,  
FORMS &  
ENERGY NOTES

[illegible]

Drawing No :

# T-1.2



Technical Bulletin

Technical Bulletin No. 18

Cal State Fire Code Approval

The following are results of the various fire tests\* performed on 1-Course Cedar Valley panel styles by certified engineering and test laboratories.\*\* These tests utilized current calculations and the required SFM Chapter 7a criteria.

**Fire Testing**  
California Stack Panels are recognized by the California State Fire Marshal and listed in the Wildland Urban Interface (WUI) products compliance handbook as an approved wood siding product.

**1) Cedar Valley "California Stack" 1-Course panels California SFM 12-7a Fire Test Passed**

**a. The "California Stack" is an untreated non-routed stackable panel with a square cut plywood backer and Western Red Cedar natural shingles on the face.**

**b. The following options are available and approved for use under the California State fire Marshall WUI Products Handbook for Cedar Valley Panels.**

**i. All shingle Exposures offered by Cedar Valley**

**ii. Even And Staggered buttlines**


**iii. Open And Closed Keyway options**

**iv. Thickbutt Shingles**


**2) California State Fire Marshall Listing number under the Building Materials Listing Program**

**a. (BML) #8140-2023-0002**


**b. All panels have the SFM logo & number stamped on the back.**



LISTED Siding for W.U.I.  
CSFM 8140-2023-0002  
Cal Stack  
Meets Chapter 7A of CBC  
Cedar Valley Mfg.  
943 San Felipe Road  
Hollister, Ca 95023



CALIFORNIA DEPARTMENT OF FORESTRY  
and FIRE PROTECTION  
OFFICE OF THE STATE FIRE MARSHAL




CAL FIRE  
SINCE 1899

WILDLAND URBAN  
INTERFACE (WUI)  
PRODUCTS

Published by **CAL-FIRE**  
FIRE ENGINEERING DIVISION

Revised 09/15/08

<http://osfm.fire.ca.gov/stuc/fireengineering/pdf/bml/wuiproducts.pdf>




CEDAR VALLEY  
Handcrafted Shingle Panels

CVTB 018 Rev. 7/14

943 San Felipe Road, Hollister, Ca 95023 T 800-521-9523 F 831-636-8109 www.cedar-valley.com

COOL ROOF COLLECTION






Options that Exceed 20+ SRI

Owens Corning offers a wide array of shingle choices that meet or exceed an aged SRI of 20+ – the current aged Solar Reflectance Index minimum required for the Green Building Standards Code of Los Angeles County and Los Angeles City Cool Roofs Ordinance.

Opciones que superan los más de 20 SRI






Owens Corning ofrece una amplia gama de opciones de tejas que cumplen o superan un SRI de 20, el mínimo actual del índice de reflectancia solar necesario para el Código de Normas de Edificios Ecológicos del Condado de Los Angeles y la Ordenanza de Techos Frescos de la Ciudad de Los Angeles.

Woodmoor®/Woodcrest® Shingles








Mountainside<sup>1</sup> Night Sky<sup>1</sup> Sand Castle<sup>1</sup>

TruDefinition® Duration MAX® Shingles with SureNail® Technology





Forest Brown<sup>1</sup> Mountainside<sup>1</sup> Night Sky<sup>1</sup> Sand Castle<sup>1</sup> Summerwood<sup>1</sup>

TruDefinition® Duration® COOL Plus Shingles with SureNail® Technology

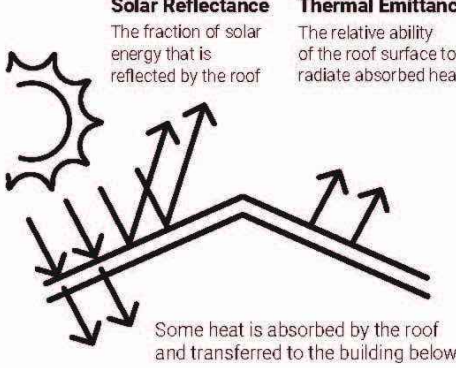


Cliffside Gray<sup>1</sup> Copper Trail<sup>1</sup> Golden Meadow<sup>1</sup> Midnight<sup>1</sup> Mystic Gray<sup>1</sup>




Prairie Wood<sup>1</sup> Rolling Stone<sup>1</sup>

How a roof reacts to heat from the sun



Solar Reflectance  
The fraction of solar energy that is reflected by the roof



Thermal Emittance  
The relative ability of the roof surface to radiate absorbed heat

Some heat is absorbed by the roof and transferred to the building below

Adapted from the Cool Roof Rating Council (coolroofs.org)

Claims on energy consumption and CO<sub>2</sub> emissions are sourced from GBC®: <https://coolroofs.org/resources/what-is-a-cool-roof/>

Owens Corning® shingle products tested to the right are also found on the GBC® Ideal Product Directory (<http://coolroofs.org/product/>) results. The shingle color choices marked in shaded gray indicate that they meet or exceed a 20+ aged Solar Reflectance Index.

HELP SAVE ENERGY  
CONFIDENTLY MEET CODE

Cool Roof Requirements in California and Other Compliance Programs

- Meet the prescriptive Cool Roof requirements of California Title 24, Part 5
- Are Cool Roof Rating Council (CRRRC) rated
- Meet the Green Building Standards Code of Los Angeles County and Los Angeles City Cool Roofs Ordinance
- Meet Property Assessed Clean Energy (PACE) financing program requirements
- May help lower household energy consumption by keeping the roof cooler; also may help decrease CO<sub>2</sub> emissions

Contact your local contractor to learn more about code requirements in your area.

COOL Roof Collection

	Colors	CRRRC Product ID	Solar Reflectance	Thermal Emittance	Solar Reflectance Index (SRI)
Woodmoor®/Woodcrest® Shingles	Mountainside	0890-0027	0.19	0.91	18
	Night Sky	0890-0028	0.19	0.91	18
	Sand Castle	0890-0029	0.19	0.91	18
	Forest Brown <sup>1A</sup>	0890-0018A	0.18	0.92	17
	Mountainside <sup>1A</sup>	0890-0016A	0.19	0.91	19
	Night Sky <sup>1A</sup>	0890-0026	0.18	0.90	16
	Sand Castle <sup>1A</sup>	0890-0020	0.17	0.92	17
	Summerwood <sup>1A</sup>	0890-0015A	0.18	0.91	17
	Cliffside Gray <sup>1A</sup>	0890-0031	0.20	0.93	21
	Copper Trail <sup>1A</sup>	0890-0030	0.22	0.92	22
TruDefinition® Duration MAX® Shingles	Golden Meadow <sup>1A</sup>	0890-0033	0.21	0.93	22
	Midnight <sup>1A</sup>	0890-0036	0.21	0.94	20
	Mystic Gray <sup>1A</sup>	0890-0032	0.22	0.93	23
	Prairie Wood <sup>1A</sup>	0890-0035	0.20	0.92	21
	Rolling Stone <sup>1A</sup>	0890-0034	0.21	0.92	22
	Amber <sup>1A</sup>	0890-0009	0.23	0.92	24
	Oyster Shell <sup>1A</sup>	0890-0012	0.23	0.93	24
	Shaasta White <sup>1A</sup>	0890-0008	0.29	0.87	29
	Sierra Gray <sup>1A</sup>	0890-0013	0.20	0.92	20
	Forest Brown <sup>1A</sup>	0890-0018A	0.18	0.92	17
TruDefinition® Duration® COOL Plus Shingles	Mojave <sup>1A</sup>	0890-0017A	0.19	0.91	18
	Mountainside <sup>1A</sup>	0890-0016A	0.19	0.91	19
	Night Sky <sup>1A</sup>	0890-0026	0.18	0.90	16
	Sand Castle <sup>1A</sup>	0890-0020	0.17	0.92	17
	Summerwood <sup>1A</sup>	0890-0015A	0.18	0.91	17
	Amber <sup>1A</sup>	0890-0009	0.23	0.92	24
	Cliffside Gray <sup>1A</sup>	0890-0036	0.21	0.93	21
	Golden Meadow <sup>1A</sup>	0890-0037	0.21	0.92	22
	Shaasta White <sup>1A</sup>	0890-0002	0.28	0.91	30
	Sierra Gray <sup>1A</sup>	0890-0013	0.20	0.92	20
Oakridge® Shingles	Sand Castle	0890-0020	0.17	0.92	17

20+ SRI

20+ SRI

Applicable Standards and Codes

ASTM D3462

ASTM D228

ASTM D3018 (Type 1)

ICC-ES AC438<sup>1</sup>

ASTM D3161 (Class F Wind Resistance)

ASTM D7158 (Class H Wind Resistance)

ASTM E108/UL 790 (Class A Fire Resistance)

UL 2218 (Class 3 Impact Resistance)\*

FM 4473 (Class 3 Impact Resistance)\*

PRI ER 1378E01

Normas y códigos aplicables

ASTM D3462

ASTM D228

ASTM D3018 (Tipo 1)

ICC-ES AC438<sup>1</sup>

ASTM D3161 (Resistencia al viento clase F)

ASTM D7158 (Resistencia al viento clase H)

ASTM E108/UL 790 (Resistencia al fuego clase A)

UL 2218 (Resistencia a impactos de clase 3)\*

FM 4473 (Resistencia a impactos de clase 3)\*

PRI ER 1378E01

20+ SRI

20+ SRI

EXTERIOR WOOD SLAT SIDING

ADDED LADBS NOTES

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines—whether or not the line are located on the property. Failure to comply may cause construction delays and / or additional expenses.
- An approved Seismic Gas Shutoff Valve will be installed on the fuel gas line on the downstream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 170, 158).
- Plumbing fixtures are required to be connected to a sanitary sewer or t an approved sewage disposal system. R306.3.
- Kitchen sinks, lavatories, bathtubs, showers, bibets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply. R306.4
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surface shall extend to a height of not less than 6 feet above the floor. R307.2
- Provide ultra-flow flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, product designation and performance grade rating. (Research Report not required). R308.6.9
- Water heater must be strapped to wall. Sec. 507.3, LAPC.
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. I shall automatically reset and be equipped with a manual means to deactivate (for 15 secs. max.) for a single opening. The deactivation switch shall be at least 54" above the floor. 6109 of LABC.
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB) No. 2977. 3162B
- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. R309.4
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, where permit is required for alterations, repairs, or additions. R314.2
- Where permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.2. Carbon monoxide alarms shall only be required in the specific dwelling unit or sleeping unit for which the permit was obtained. R315.2
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles ove the area of the room at a height of 30 inches above the floor level. R303.1
- A copy of the evaluation report and / or conditions of listing shall be made available at the job site.

ROOFING SPECIFICATION

NO SCALE

1

LA DBS  
DEPARTMENT OF BUILDING AND SAFETY

2023 Los Angeles Green Building Code

FORM GRN 4

MANDATORY REQUIREMENTS CHECKLIST  
NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS  
(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Permit # \_\_\_\_\_ Date: \_\_\_\_\_

ITEM #	CODE SECTION	REQUIREMENTS	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note #, detail # or reason for N/A)
PLANNING AND DESIGN				
1	4.106.2	Storm water drainage and retention during construction	NA	NA
2	4.106.3	Grading and paving	A-1.1	
3	4.106.4	Electric vehicle (EV) charging	NA	NA
4	4.106.5	Cool roof for reduction of heat island effect	A-2.3	
5	4.106.7	Reduction of heat island effect for non-roof areas	NA	NA
ENERGY EFFICIENCY				
6	4.211.4	Solar ready buildings	A-2.3	(250 SQ. FT. SOLAR ZONE)
WATER EFFICIENCY & CONSERVATION				
7	4.303.1	Water conserving plumbing fixtures and fittings	T-1.2	GRN 16
8	4.303.1.3.2	Multiple showerheads serving one shower	T-1.2	GRN 16
9	4.303.3	Water submitters	NA	
10	4.303.4	Water use reduction	NA	
11	4.304.1	Outdoor water use in landscape areas	NA	
12	4.304.2	Irrigation controllers	NA	
13	4.304.3	Metering outdoor water use	NA	
14	4.304.4	Exterior faucets	NA	
15	4.304.5	Swimming pool covers	NA	
16	4.305.1	Graywater ready	NA	
17	4.305.2	Recycled water supply to fixtures	NA	
18	4.305.3.1	Cooling towers (buildings ≤ 25 stories)	NA	
19	4.305.3.2	Cooling towers (buildings > 25 stories)	NA	
20	4.305.4	Groundwater discharge	NA	
MATERIAL CONSERVATION & RESOURCE EFFICIENCY				
21	4.406.1	Rodent proofing	NA	
22	4.407.3	Flashing details	A-6.2 THRU A-7.2	

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

(Rev. 07/11/23) Page 1 of 2 [www.ladbs.org](http://www.ladbs.org)

LA DBS  
DEPARTMENT OF BUILDING AND SAFETY

2023 Los Angeles Green Building Code

FORM GRN 4

MANDATORY REQUIREMENTS CHECKLIST  
NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS  
(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

Permit # \_\_\_\_\_ Date: \_\_\_\_\_

ITEM #	CODE SECTION	REQUIREMENTS	REFERENCE SHEET (Sheet # or N/A)	COMMENTS (e.g. note #, detail # or reason for N/A)
23	4.407.4	Material protection	NA	
24	4.408.1	Construction waste reduction	NA	
25	4.410.1	Operation and maintenance manual	NA	
ENVIRONMENTAL QUALITY				
26	4.503.1	Fireplaces and woodstoves	NA	
27	4.504.1	Covering of duct openings and protection of mechanical equipment during construction	Note 14	See Form GRN 14
28	4.504.2	Finish material pollutant control		
29	4.504.2.1	Adhesives, sealants, caulks	T-1.2	See Form GRN 11
30	4.504.2.2	Paints and coatings		
31	4.504.2.3	Aerosol paints and coatings		
32	4.504.2.4	Verification	Note 16	See Form GRN 14
33	4.504.3	Carpet systems	Note 17	See Form GRN 14
34	4.504.3.1	Carpet cushion	Note 17	See Form GRN 14
35	4.504.4	Resilient flooring systems	Note 18	See Form GRN 14
36	4.504.5	Composite wood products	Note 19	See Form GRN 14
37	4.504.6	Filters	Note 21	See Form GRN 14
38	4.505.2.1	Capillary break	Note 22	See Form GRN 14
39	4.505.3	Moisture content of building materials	Note 23	See Form GRN 14
40	4.506.1	Bathroom exhaust fans	Note 24	See Form GRN 14
41	4.507.2	Heating and air-conditioning system design	Note 26	See Form GRN 14

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

(Rev. 07/11/23) Page 2 of 2 [www.ladbs.org](http://www.ladbs.org)

BOLADarck

ARCHITECTURE . ENGINEERING

406 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLADarck Design Corp. These are available for limited review and evaluation by client, consultants, contractors, government agencies, vendors and other personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

GREEN NOTES,  
FORMS &  
ENERGY NOTES  
(CONT.)

Revisions : \_\_\_\_\_ Date : \_\_\_\_\_

Plan Check Submittal -

Back Check 1 03/03/2025

Designer : JPB

Manager : -

Date : 02/22/2025

Job No : -

Drawing No :

T-1.3

BOLADarck Design + N. Battle A.I.A. Architect, Inc.



GENERAL NOTES FOR SINGLE-FAMILY DWELLING

*These General Notes are provided as an aid and should not be construed as a complete list of requirements. For additional clarity or for all other requirements, please refer to the City of Los Angeles Residential, Zoning and Building Codes.*

A. GENERAL

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facility (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines -whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.\* Obtain approval from Real Estate Business Unit of DWP (213) 367-0562.
- Obtain permits from Public Works prior to Construction for:
  - Temporary pedestrian protection as required by LABC Section 3306.
  - For any construction near any street or public area.
- Outlets along wall counter space, island and peninsula counter space in kitchens shall have a maximum spacing of 48". (210-52 NEC)
- All new lighting shall be from an energy high efficacy light source (e.g. fluorescent lamp). (T-24, Sec. 150(k))
- Every space intended for human occupancy shall be provided with natural light by means of exterior glazed openings in accordance with Section R303.1 or shall be provided with artificial light that is adequate to provide an average illumination of 6 foot-candles over the area of the room at a height of 30 inches above the floor level. (R303.1)
- A copy of the evaluation report and/or conditions of listing shall be made available at the job site
- The sprinkler system shall be approved by Plumbing Division prior to installation.
- Plumbing fixtures are required to be connected to a sanitary sewer or to an approved sewage disposal system (R306.3)
- Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry tubs and washing machine outlets shall be provided with hot and cold water and connected to an approved water supply (R306.4)

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

Page 1 of 7

P/GI 2023-022

(LABC Section 1808.6, LARC Section R403.1.8, R506.1)

- Provide Under-floor net ventilation opening size and locations equal to 1 sq. ft. for each 150 sq. ft. of under floor area and an access opening through the floor (18" x 24" min) or an opening through a perimeter wall not less than (18" x 24" min). (LARC R408, LABC Section 1202.4, 1208)
- Openings shall be as close to corners as practicable and shall provide cross ventilation along the length of at least two opposite sides. Opening shall have 1/4 inch corrosion resistant metal mesh covering. (LABC Section 1202.4, LARC R408.2)
- Provide corrosion resistant weep screen below the stucco a minimum of 4" above earth or 2" above paved area. (LARC Section R703.7.2.1, LABC Section 2512.1.2)
- Provide rain gutters and convey rain water to the street. (LARC R903.4, LABC 1502.1, 7013.9)

F. ZONING NOTES

- A/C units and water heaters are not allowed in the required side yards and front yard unless specifically allowed by exception per Information bulletin P/ZC 2002-006.

G. SPECIAL HAZARDS

- Glazing in hazardous locations shall be tempered. (LARC R308, LABC Section 2406.4)  
  
Fixed or operable panels in swinging, sliding and bifold doors and fixed or operable panels adjacent to doors;  
  
Fixed or operable window panels with panes larger than 9 square feet and are less than 18 inches above the floor, have a top edge greater than 36 inches above the floor and have one or more walking surfaces within 36 inches, measured horizontally and in a straight line, of the glazing.  
  
Glazing in guards and railings, adjacent to wet surfaces, adjacent to stairs and ramps, and adjacent to bottom stair landings.
- Each light of safety glazing material installed in hazardous locations shall be identified by a permanent label that specifies the labeler, the type of glass, and the safety glazing standard with which it complies, and that is visible in the final installation.
- Unit Skylights shall be labeled by a LA City Approved Labeling Agency. Such label shall state the approved labeling agency name, manufacturer, and performance grade rating to indicate compliance with AAMA/WDMA/CSA 101/I.S.2/A440 (research report not required). (R308.6.9)
- Pre-fab fireplaces are required to have manufacturer, model, and Underwriter Laboratories certification (or ICC-ES).

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

Page 4 of 7

P/GI 2023-022

- Automatic garage door openers, if provided, shall be listed in accordance with UL 325. (R309.4)
- Los Angeles City Electrical Test Lab Research Report is required to use an electro-mechanical lift for provided parking spaces.
- "A maintenance of vehicle lift system (2-levels or more) affidavit" shall be approved and recorded prior to issuing a building permit.
- A minimum of 65 percent of the nonhazardous construction and demolition waste shall be recycle and/or salvage for reuse in accordance with California Green Building Standards Code, Chapter 4 Division 4.4. (R334)
- Finish materials including adhesives, sealants, caulks, paints and coating, aerosol paints and systems and composite wood products shall meet the volatile organic compound (VOC) emission limits in accordance with the California Green Building Standards Code, Chapter 4 Division 4.5. (R340)
- When a vapor retarder is required, a capillary break shall be installed in accordance with the California Green Building Standards Code, Chapter 4, Division 4.5. (R506.2.3.1)
- Annular space around pipes, electric cables, conduits or other openings in bottom/sole plates at exterior walls shall be protected against the passage of rodents by closing such openings in accordance with the California Green Building Standards Code, Chapter 4, Division 4.4. (R602.3.4.1)

B. BATHROOMS

- All shower enclosures, regardless of shape, shall have a minimum finished interior area of not less than 1024 square inches (0.66 m<sup>2</sup>) and shall be capable of encompassing a 30 inch diameter (0.76 m) circle. The minimum area and dimensions shall be maintained to a point 70 inches (1.8 m) above the shower drain outlet. (Plumbing Code Section 408.6)
- Bathtub and shower floors, walls above bathtubs with a showerhead, and shower compartments shall be finished with a nonabsorbent surface. Such wall surfaces shall extend to a height of not less than 6 feet above the floor (R307.2).
- Provide ultra low flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- A min 12" sq. access panel to the bathtub trap slip joint connection is required. (Plumbing Code Section 402.10)

C. LAUNDRY ROOM

- Clothes dryer(s) located in an area that is habitable or containing fuel burning appliances shall be exhausted to the outside or to an area which is not habitable and

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

Page 2 of 7

P/GI 2023-022

- Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue which uses fuel burning material." (L.A.M.C. 57.4704.10)
- An approved Seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (Per Ordinance 171,874-for work over \$10,000.)
- Water heater must be strapped to wall. Section 507.2, LAPC. See Information Bulletin P/PC 2011-003 "How to Brace Your Water Heater" for details.
- For existing pool on site, provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate (for 15 seconds. Max), for a single opening. The deactivation switch shall be at least 54" above the floor. (6109 of LABC)
- For existing pool on site, provide anti-entrapment cover meeting the current ASTM or ASME for the suction outlets of the swimming pool, toddler pool and spa for single family dwellings per Assembly Bill (AB 2977). (31628)
- Smoke detectors shall be provided for all dwelling units intended for human occupancy, upon the owner's application for a permit for alterations, repairs, or additions, exceeding one thousand dollars (\$1,000). (R314.2.2)
- An approved smoke alarm shall be installed in each sleeping room & hallway or area giving access to a sleeping room, and on each story and basement for dwellings with more than one story. Smoke alarms shall be interconnected so that actuation of one alarm will activate all the alarms within the individual dwelling unit. In new construction smoke alarms shall receive their primary power source from the building wiring and shall be equipped with battery back up and low battery signal. (R314)
- An approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units within which fuel-burning appliances are installed and in dwelling units that have attached garages. Carbon monoxide alarm shall be provided outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s) and on every level of a dwelling unit including basements. (R315)
- Where a permit is required for alterations, repairs or additions, existing dwellings or sleeping units that have attached garages or fuel-burning appliances shall be provided with a carbon monoxide alarm in accordance with Section R315.1. (R315.2.2)

H. STRUCTURAL REQUIREMENTS

- Provide lead hole 40%-70% of threaded shank dia. and full dia. for smooth shank portion of Lag Bolts.
- All bolt holes, other than Lag Bolt holes, shall be drilled 1/32 to 1/16" oversized.
- Provide lateral support for the top of interior non-bearing walls when manufactured trusses are used. (LABC 1607.15)
- Provide double joists under parallel bearing partitions. (LARC Sec. R502.4, LABC

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

Page 5 of 7

P/GI 2023-022

does not contain other fuel burning appliances (but not beneath the building or in the attic area). (M.C. 504.4.2.1)

- A 4" clothes dryer moisture exhaust duct is limited to a 14 feet length with two elbows from the clothes dryer to the point of termination. Reduce this length by 2 feet for every elbow in excess of 2. (M.C. 504.3.2, M.C. 908)

D. MEANS OF EGRESS

- Provide 32" wide doors to all interior accessible rooms within a dwelling unit. (LARC Section R101, LABC Section 6304.1)
- Provide emergency egress from sleeping rooms. Min. - 24" clear ht, 20" clear width, 5.7 sq.ft. min. area. (LARC Section R310.2.1, LABC Section 1030.2)
- Occupied roofs shall be provided with exits as required for stories.

E. GRADING AND FOUNDATION

- If adverse soil conditions are encountered, a soils investigation report may be required. (LARC Section R401.4)
- Foundation and floor slabs shall conform to the following or the recommendation of an approved soils report :
  - Depth of footings below the natural and finished grades shall not be less than 24 inches for exterior and 18 inches for interior footings.
  - Exterior walls and interior bearing walls shall be supported on continuous footings.
  - Footings shall be reinforced with a minimum 4 - ½ -inch diameter deformed reinforcing bars. Two bars shall be placed within 4 inches of the bottom of the footing and two bars within 4 inches of the top of the footings.
  - The soil below an interior concrete slab shall be saturated with moisture to a depth of 18 inches prior to placing the concrete.
  - Concrete floor slabs on grade shall be placed on a 4" fill of coarse aggregate or on a moisture barrier membrane. The slabs shall be at least 3½ inch thick and shall be reinforced with #4 rebar at 16 inch on center in both directions.
- Concrete slabs on expansive soil, compacted fill or slopes over 1:10 shall be placed on a 4-inch fill of coarse aggregate. The slabs shall be at least 3-1/2 inches thick and reinforced with #4 bars spaced at intervals not exceeding 16 inches on center each way. A 6-mil polyethylene or approved vapor barrier with joints lapped not less than 6-inches shall be placed between the concrete floor slab and the base course.

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

Page 3 of 7

P/GI 2023-022

Section 2308.4.5)

- Provide full length studs (balloon frame) on exterior walls of rooms with vaulted ceiling. (LARC Section R602.3, LABC Section 2308.5.1, Table 2308.5.1).
- All roof and shear wall nailing shall utilize common nails or galvanized box. Nail guns using "Clipped head" or Sinker nails are not acceptable. (LARC Table R602.3(1), LABC Table 2304.10.1)
- Roof nailing to be inspected before covering. Face grain of plywood shall be Perpendicular to supports. Floor shall have tongue and groove or blocked panel edges. Plywood spans shall conform with Table R503.2.1(1)/Table 2304.7(3). (LARC R03.2.2)
- All horizontal joints occurring in braced wall panels shall occur over blocking equal in size to the studding. (LARC Section R602.10.4.4, LABC Section 2308.6.4)
- Stucco shear walls shall utilize furring, galvanized nails (having a minimum 11 ga., 1-1/2" long, 7/16" diameter head, and furred out a min of 1/4") to attach the lath to the studs. (Table 2306.3(3)). Self furring lath approved by a Los Angeles Research Report is permitted.
- Structural wood shear walls shall be covered with minimum two layers 15# felt underlay prior to placing finish material.
- Shop welds must be performed in a LA City Bldg. Dept. licensed fabricator's shop.
- Plate washers are required for all hold downs. (LABC 2305.5)
- Foundation sills shall be Douglas-Fir (Group II Lumber ) pressure treated or foundation grade Redwood.(LABC Section .2304.11.1.4).
- Hold-down connector bolts into wood framing require approved plate washers; and hold-downs shall be tightened just prior to covering the wall framing.
- All bolt holes shall be drilled a maximum of 1/16" oversized AND inspector shall verify at job site.
- Cutting, Notching, and Boring of Wood Framing Members . (LARC R602.6, LABC Sec. 2308.5.9, 10)(see diagrams below).

**Bored Holes D/3**  
2 x 6 = 1 13/16"  
2 x 8 = 2 7/16"  
2 x 10 = 3 1/16"  
2 x 12 = 3 3/4"

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities. For efficient handling of information internally and in the internet, conversion to this new format of code related and administrative information bulletins including MGD and RGA that were previously issued will allow flexibility and timely distribution of information to the public.

Page 6 of 7



EQUINE KEEPING CHECKLIST FORM

No building permit shall be issued for any building creating new habitable space on a lot located in whole or in part within an Equine Keeping "K" District and/or any lot zoned RA, RE20, RE40, A1, or A2 without completing this form. This form shall be completed and submitted during plan check. For more information on the process, refer to the flowchart.

Address: 8040 W. McGroarty Street

PCIS: 24010 - 20000 - 03354

Please read the following two (2) questions carefully and answer either YES or NO:

(1) Is there any equine keeping on any of the adjacent properties? (i.e. an equine, animal keeping enclosure, barn, equine license) ☒ No ☐ Yes

(2) Is there any equine keeping on your property? (i.e. an equine, animal keeping enclosure, barn, equine license) ☒ No ☐ Yes

If the answer to either of the above questions is "yes", you will need to provide a dimensioned site plan that is to-scale and which shows the location of the equine keeping structure and/or enclosure on your lot and any of the adjacent properties and indicate the distances between your proposed habitable room additions, new single family dwelling unit, Accessory Living Quarters or Servant Quarters and such structures and/or enclosures. The information on the site plan shall be verified by LADBS inspection before construction can commence.

Please call (888)LA4BUILD or (888)524-2845, for Equinekeeping pre-construction inspection to verify the accuracy of the provided information before starting any construction.

For information on the setback requirements from an equine keeping structure and/or enclosure, please see LADBS Information Bulletin No. P/ZC 2002-018.

[http://ladbs.org/LADBSWeb/LADBS\\_Forms/InformationBulletins/18-P-ZC2014-018EquineKeeping.pdf](http://ladbs.org/LADBSWeb/LADBS_Forms/InformationBulletins/18-P-ZC2014-018EquineKeeping.pdf)

Any incorrect information may lead to the revocation of the corresponding permits.

Property owner or the authorized agent's name: \_\_\_\_\_

Property owner or the authorized agent's signature: \_\_\_\_\_

Date: \_\_\_\_/\_\_\_\_/\_\_\_\_ September 2, 2014

ARCHITECTURE . ENGINEERING

408 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLADarck Design Corp. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

SINGLE FAMILY DWELLING GENERAL NOTES

Revisions : Date :

Plan Check Submittal -

Back Check 1 03/03/2025

Designer : JPB

Manager : -

Date : 02/22/2025

Job No : -

Drawing No :

T-1.4



GENERAL NOTES

1. ALL WORK PERFORMED AND MATERIAL PROVIDED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST APPLICABLE BUILDING CODES AND CONSTRUCTION STANDARDS, WHETHER OR NOT SPECIFIED ON THE DOCUMENTS.
2. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DOCUMENTS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR DEFINITION, BANDA ENGINEERING SHALL BE NOTIFIED FOR CLARIFICATION.
3. THE 'GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION', STANDARD FORM A201 OF THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION, ARE MADE A PART OF THE CONSTRUCTION DOCUMENTS, AND SHALL APPLY TO THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS.
4. THESE DOCUMENTS ARE INTENDED TO CONVEY THE GENERAL DESIGN INTENT. THE HIGHEST LEVEL OF MATERIAL AND WORKMANSHIP SHALL BE USED THROUGHOUT. ALL CONSTRUCTION DOCUMENTS ARE COMPLEMENTARY, AND WHAT IS CALLED FOR BY ANY WILL BE PROVIDED AS IF CALLED FOR BY ALL.
5. AT THE TIME OF BID SUBMITTAL, THE CONTRACTOR SHALL ADVISE BANDA ENGINEERING, IN WRITING, OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR WILL CAUSE A DELAY IN THE COMPLETION OF CONSTRUCTION. NO SUBSTITUTIONS OF SPECIFIED MATERIALS SHALL BE PERMITTED WITHOUT FIRST SUBMITTING SPECIFICATIONS, SAMPLES, AND FOR BANDA ENGINEERING REVIEW.
6. THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AT THE JOB SITE PRIOR TO COMMENCEMENT OF ANY WORK, AND SHALL REQUEST CLARIFICATION FROM BANDA ENGINEERING IMMEDIATELY FOR ANY DISCREPANCIES OR OMISSIONS BETWEEN THE DOCUMENTS AND FIELD CONDITIONS. THE MOST STRINGENT REQUIREMENT OF THE CONSTRUCTION DOCUMENTS, OR APPLICABLE CODES OR STANDARDS, SHALL GOVERN.
7. ALL DIMENSIONS GIVEN ARE FROM CENTERLINE OF BEAM OR COLUMN, OR FROM FACE OF FRAMING OR FACE OF MASONRY TYPICAL, UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS! DIMENSIONS GOVERN, AND LARGE SCALE DETAILS GOVERN OVER SMALLER SCALE DETAILS. IF DIMENSIONAL DISCREPANCIES ARE DISCOVERED, THE CONTRACTOR SHALL BRING THEM TO THE ATTENTION OF BANDA ENGINEERING IMMEDIATELY FOR CLARIFICATION.
8. SOLELY AS A CONVENIENCE TO THE OWNER, BANDA ENGINEERING MAY INCLUDE DOCUMENTS PREPARED BY THE OWNER'S OTHER CONSULTANTS (I.E.: SOILS REPORT), OR INCORPORATE THE RECOMMENDATIONS OF SAID CONSULTANTS INTO THE DOCUMENTS PREPARED OR ISSUED BY BANDA ENGINEERING. IT IS EXPRESSLY UNDERSTOOD THAT, BY SUCH ISSUANCE, BANDA ENGINEERING ASSUMES NO LIABILITY FOR THE SERVICES OF SAID CONSULTANTS.
9. THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON-SITE DURING ALL PHASES OF THE WORK. THE CONTRACTOR SHALL SEE THAT ALL SUB-CONTRACTORS RECEIVE THE LATEST CONSTRUCTION DOCUMENTS.
10. THE CONTRACTOR, AND THE SUB-CONTRACTORS, SHALL REVIEW THE CONSTRUCTION DOCUMENTS FOR ISSUES RELATED TO EACH TRADE PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUB-CONTRACTORS, AND REPORT ANY DISCREPANCIES IMMEDIATELY TO BANDA ENGINEERING FOR CLARIFICATION.
11. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK. FORWARD COPIES OF ALL EXECUTED PERMITS TO BANDA ENGINEERING.
12. THE CONTRACTOR SHALL COORDINATE AND SCHEDULE ALL INSPECTIONS OR TESTS INDICATED ON THE CONSTRUCTION DOCUMENTS OR REQUIRED BY ANY GOVERNMENT AGENCY. THE OWNER WILL HIRE THE TESTING SERVICE(S) OR INSPECTOR(S) DIRECTLY.
13. THE CONTRACTOR SHALL PROVIDE PUBLIC PROTECTION AS REQUIRED BY CITY AGENCIES, AND SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL PROTECT IN PLACE ALL EXISTING SURFACES TO REMAIN, AND SHALL PATCH, REPAIR, OR REPLACE ANY EXISTING SURFACES DAMAGED DURING DEMOLITION OR CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
14. IF THERE ARE TRENCHES OR EXCAVATIONS 5'-0" OR MORE IN DEPTH INTO WHICH A PERSON MUST DESCEND, OR IF THERE IS ANY DEMOLITION OR CONSTRUCTION OF ANY BUILDING, STRUCTURE, SCAFFOLDING, OR FALSEWORK MORE THAN THREE STORIES OR 36'-0" IN HEIGHT, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMIT(S) FROM THE CALIFORNIA STATE DIVISION OF INDUSTRIAL SAFETY.
15. THE CONTRACTOR IS WHOLLY RESPONSIBLE FOR SCHEDULING OF THE WORK REQUIRED TO COMPLETE THE JOB. THE CONTRACTOR SHALL COORDINATE ALL PERMITS, SHOP DRAWINGS, SPECIAL FABRICATIONS, AND VENDOR SUPPLIED ITEMS WITH THE PROJECT SCHEDULE.
16. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER TO DETERMINE THE CONDITIONS FOR CONSTRUCTION, DELIVERIES, OR OTHER TASKS TO BE PERFORMED OUTSIDE NORMAL BUSINESS HOURS. EVENING OR NIGHT WORK, OR PHASED CONSTRUCTION SHALL BE INCLUDED IN THE PROJECT SCOPE.
17. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EMBEDDED ITEMS BEFORE POURING CONCRETE, AND SHALL NOTIFY BANDA ENGINEERING AND OWNER ONE WEEK IN ADVANCE OF THE SLAB POUR DATE.
18. THE CONTRACTOR SHALL VERIFY THE SIZE AND LOCATION OF ALL EXISTING UTILITY LINES AND STUBS TO THE BUILDING(S). THE CONTRACTOR SHALL EXTEND ALL UTILITY LINES FROM OUTSIDE THE BUILDING, OR FROM POINTS-OF-CONNECTION, AS INDICATED ON THE CONSTRUCTION DOCUMENTS.
19. SIZES AND LOCATIONS OF ALL EQUIPMENT ARE GIVEN AS A BASIS-OF-DESIGN ONLY. THE CONTRACTOR SHALL VERIFY THE ACTUAL DIMENSIONS, LOCATIONS, AND REQUIREMENTS OF ALL EQUIPMENT WITH MANUFACTURER'S OR SUPPLIER'S PUBLISHED DATA, AND SHALL VERIFY THE SIZES AND LOCATIONS OF ALL FLOOR, WALL, AND ROOF OPENINGS PRIOR TO THE START OF RELATED WORK.
20. THE CONTRACTOR SHALL PROVIDE BLOCKING, BACKING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS, OR SIMILAR ITEMS AS REQ'D.
21. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL RUBBISH OR WASTE MATERIALS FROM THE JOBSITE. THE CONTRACTOR SHALL PROVIDE CONTAINMENT TO PREVENT DIRT OR DUST FROM LEAVING THE JOBSITE AS DIRECTED BY CITY AGENCIES.
22. ALL ITEMS ARE NEW, U.N.O. ALL EXISTING, RELOCATED, OR NEW ITEMS SHALL BE THOROUGHLY CLEANED PRIOR TO TURN OVER TO THE OWNER.
23. INSURANCE AND BONDING FOR THE PROJECT SHALL BE AS DIRECTED BY AND TO THE SATISFACTION OF THE OWNER.
24. CONTRACT CLOSE-OUT SHALL OCCUR ONLY AFTER BANDA ENGINEERING'S PUNCH LIST ITEMS HAVE BEEN CORRECTED. THE CONTRACTOR SHALL SUBMIT GUARANTEES AND WARRANTIES, MAINTENANCE MANUALS, RELEASE OF LIENS, AS-BUILT DRAWINGS, AND RELATED CLOSE-OUT DOCUMENTS TO BANDA ENGINEERING WITH HIS FINAL APPLICATION FOR PAYMENT.
25. PROVIDE METAL CORNER BEAD AT ALL EDGES OF PLASTER OR DRYWALL, AND METAL TRIM OR CASING BEAD AT ALL EDGES OF PLASTER OR DRYWALL, WHERE THEY MEET OR TERMINATE AGAINST ANY OTHER MATERIAL, U.N.O. ALL EXTERIOR OR INTERIOR EXPOSED FLASHINGS, TRIM, ETC., SHALL BE PAINTED TO MATCH ADJACENT MATERIALS, U.N.O. THE CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR ATTACHMENT OF ALL EXTERIOR OR INTERIOR TRIMS, FINISHES, FIXTURES, ETC., AND SHALL PROVIDE NECESSARY FRAMING AND BRACING FOR THE INSTALLATION OF NOTED EQUIPMENT.
26. ALL HVAC DUCTWORK, ELECTRICAL CONDUITS, PIPING, ETC., SHALL BE RUN IN THE SOFFITS, ATTICS, FURRING, OR OTHER CONCEALED SPACES OF THE BUILDING, U.N.O. EXPOSED WORK IN FINISHED AREAS WILL NOT BE ACCEPTED. KEEP PIPING AND CONDUITS AS CLOSE TO WALLS AND UNDERSIDE OF FLOORS AND ROOFS AS POSSIBLE.
27. ALL INSULATION MATERIALS, INCLUDING FAIGONS, INSTALLED IN FLOOR-CEILING AND ROOF-CEILING ASSEMBLIES, WALLS, CRAWL SPACES, OR ATTICS, SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY RATING NOT TO EXCEED 450, EXCEPT THAT FOAM PLASTIC INSULATION SHALL HAVE A FLAME SPREAD RATING NOT MORE THAN 75.
28. ALL EXTERIOR OPENINGS, FLASHINGS, COPINGS, EXPANSION JOINTS, ETC., SHALL BE WEATHERPROOF. ALL EXTERIOR DOORS AND WINDOWS, DOORS AND WINDOWS BETWEEN CONDITIONED AND UNCONDITIONED SPACES, EXTERIOR JOINT PENETRATIONS, AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED TO LIMIT AIR LEAKAGE. PROVIDE A METAL ASTRAGAL AT THE ACTIVE LEAF OF EACH PAIR OF DOORS.
29. DOOR OPENINGS NOT DIMENSIONED ARE TO BE LOCATED IN CENTER OF ROOM OR 4" FROM ADJACENT PARTITION, U.N.O.
30. THE CONTRACTOR SHALL PROVIDE THE OWNER WITH A LIST OF THE HEATING, COOLING, WATER HEATING, LIGHTING, AND CONSERVATION SYSTEMS, FEATURES, MATERIALS, COMPONENTS, AND DEVICES INSTALLED IN THE BUILDING, AND INSTRUCTIONS ON HOW TO USE THEM. LABELS ON MANUFACTURED DEVICES CLEARLY STATING ROUTINE MAINTENANCE ACTION; AND A DESCRIPTION OF THE QUANTITIES OF OUTDOOR AND RECIRCULATED AIR THAT THE VENTILATION SYSTEM IS DESIGNED TO PROVIDE EACH AREA.

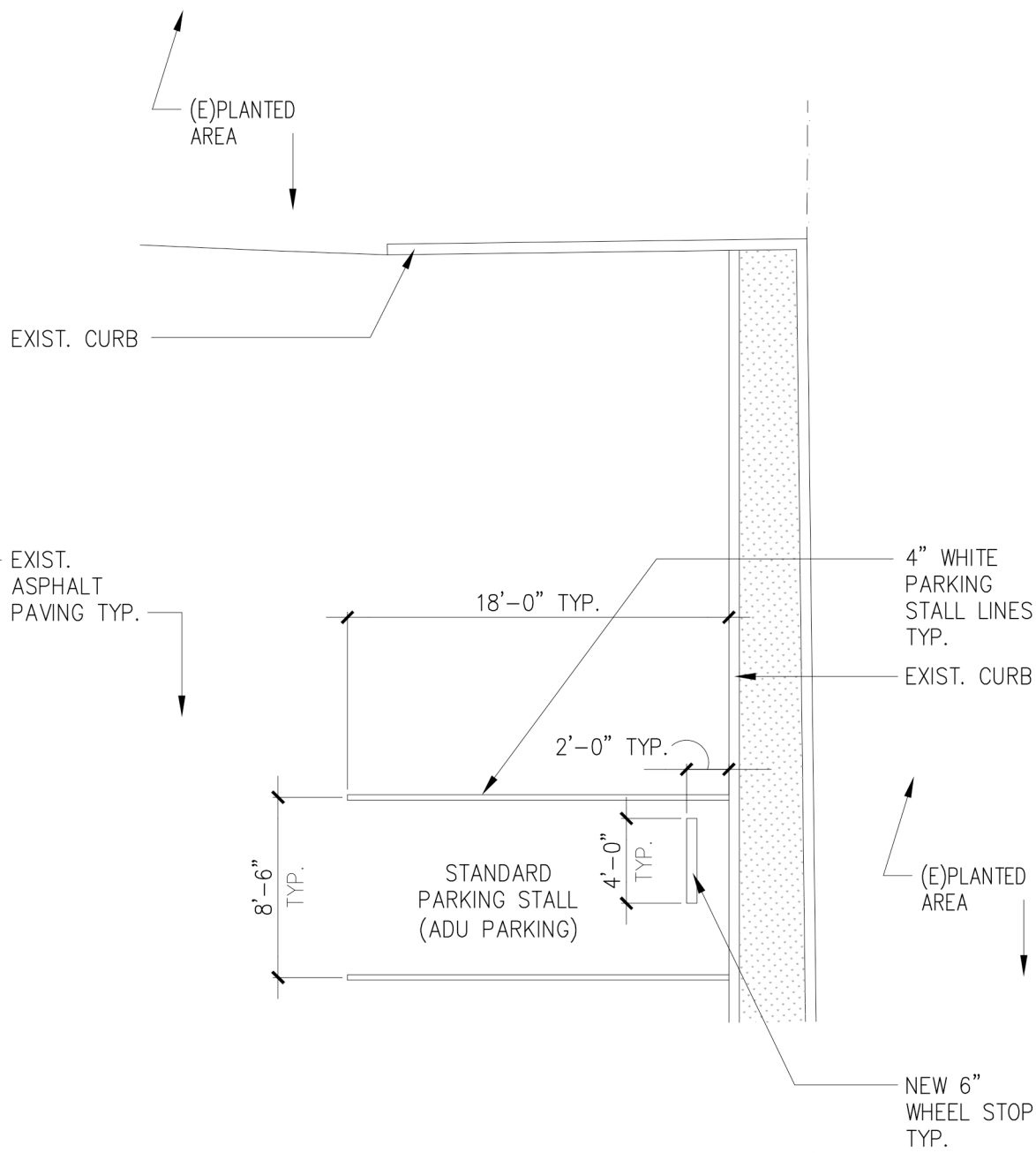
31. AN APPROVED SEISMIC GAS SHUT-OFF VALVE OR EXCESS FLOW SHUT-OFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING (SEPARATE PLUMBING PERMIT).
32. FIELD WELDING SHALL BE DONE BY WELDERS CERTIFIED BY THE CITY OF LOS ANCELS BUILDING DEPARTMENT FOR STRUCTURAL STEEL, REINFORCING STEEL, OR LIGHT GAGE STEEL FRAMING. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR ALL STRUCTURAL FIELD WELDING. SHOP WELDING SHALL BE PERFORMED BY A CITY OF LOS ANGELES LICENSED FABRICATOR.
33. PROVIDE ISOLATION OF DISSIMILAR METALS (ALUMINUM, COPPER, STEEL, ETC.) FROM EACH OTHER (PROTECTION FROM GALVANIC CORROSION).
34. PATCH AND REPAIR ANY HARDSCAPE DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE WORK TO MAKE THE HARDSCAPE AS UNIFORM AND CONSISTENT AS POSSIBLE WITH EXISTING SITE HARDSCAPE.
35. ELECTRICAL CONVENIENCE OR COMMUNICATION SYSTEM RECEPTACLE OUTLETS SHALL BE LOCATED NO MORE THAN 48" FROM THE TOP OF THE OUTLET BOX NOR LESS THAN 15" FROM THE BOTTOM OF THE OUTLET BOX TO THE FINISHED FLOOR. ELECTRICAL CONTROLS AND SWITCHES SHALL BE LOCATED NO MORE THAN 48" FROM THE TOP OF THE OUTLET BOX TO THE FINISHED FLOOR.
36. THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUIRING THE CORRECTION OF ERRORS ON THESE PLANS OR FROM PREVENTING ANY VIOLATION OF THE CODES ADOPTED BY THE CITY, RELEVANT LAWS, ORDINANCES, RULES AND/OR REGULATIONS.
37. SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.
38. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
39. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
40. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK (CBC 3307.1).

PAVEMENT MARKINGS

- MATERIALS
- A. Materials:
1. Paint: Water emulsion based, "Traffic Liner" paint as manufactured by J.E. Bauer Paint Company of Los Angeles, California or equal.
- B. Application of Paint:
1. Prior to application of paint, clean and prepare pavement in accordance with paint manufacturer's printed instructions.
2. Using mechanical equipment, apply the paint evenly, straight or curved as indicated, without holidays and other defects.
3. Do not permit any traffic until paint has completely dried.

NOTES

1. PROHIBITED PLANT MATERIALS. THE FOLLOWING MATERIALS SHALL BE PROHIBITED WITHIN THE PLAN AREA FOR ALL THE NEW PROJECTS (AS DEFINED IN SECTION):
- 1.1. ACACIA GREEN WATTLE
- 1.2. ALANTHUS ALTISSIMA TREE OF HEAVEN
- 1.3. ARUNDINARIA PYRAMICA
- 1.4. ARUNDO DONAX GIANT REED
- 1.5. ATRIPLEX SEMIBACCATA AUSTRALIAN SALTBUSH
- 1.6. AVENA SPP. WILD OATS
- 1.7. BRASSICA SPP (NON-NATIVE) MUSTARD
- 1.8. BROMBIUS RUBENS RED BROME
- 1.9. CENTRANTHUS RUBBER JUPITER'S BEARD
- 1.10. CYPRESSUS SEMPERVIRENS ITALIAN CYPRESS
- 1.11. CORTADERIA JUBATA PAMPAS GRASS
- 1.12. CORTADERIA CANARIENSIS PAMPAS GRASS
- 1.13. CYTISUS CANARIENSIS CANARY ISLAND BROOM
- 1.14. CYTISUS SCOPARIUS SCOTCH BROOM
- 1.15. CYTISUS SPACHIANUS (GENISTA RACEMOSA) BROOM
- 1.16. ERODIUM BOTRYS STORKSBILL
- 1.17. ERODIUM CUCUTARIUM STORKSBILL
- 1.18. ERODIUM CYNORIUM STORKSBILL
- 1.19. ERODIUM MALACODES STORKSBILL
- 1.20. ERODIUM MOSCHATUM STORKSBILL
- 1.21. EUCALYPTUS GLOBULUS BLUE GUM
- 1.22. LOLIUM PERENNE PERENNIAL RYEGRASS
- 1.23. MALVA PARVIFOLIA CHESEWEED
- 1.24. PENNSETUM FOUNTAIN GRASS
- 1.25. ROBINUS COMMUNIS CASTOR BEAN
- 1.26. ROBINIA PSEUDOACACIA BLACK LOCUST
- 1.27. SCHINUS MOLLE CALIFORNIA PEPPER
- 1.28. SCHINUS TEREBINTHEFOLIUS BRAZILIAN PEPPER
- 1.29. SPARTIUM JUNCEUM SPANISH BROOM
- 1.30. TAMARIX SP. SALT CEDAR
- 1.31. VULPIA MEGALLURA FOXTAIL FESCUE
- 1.32. PALM TREES PALM



STANDARD PARKING STALL

SCALE: 1/8"=1'-0"

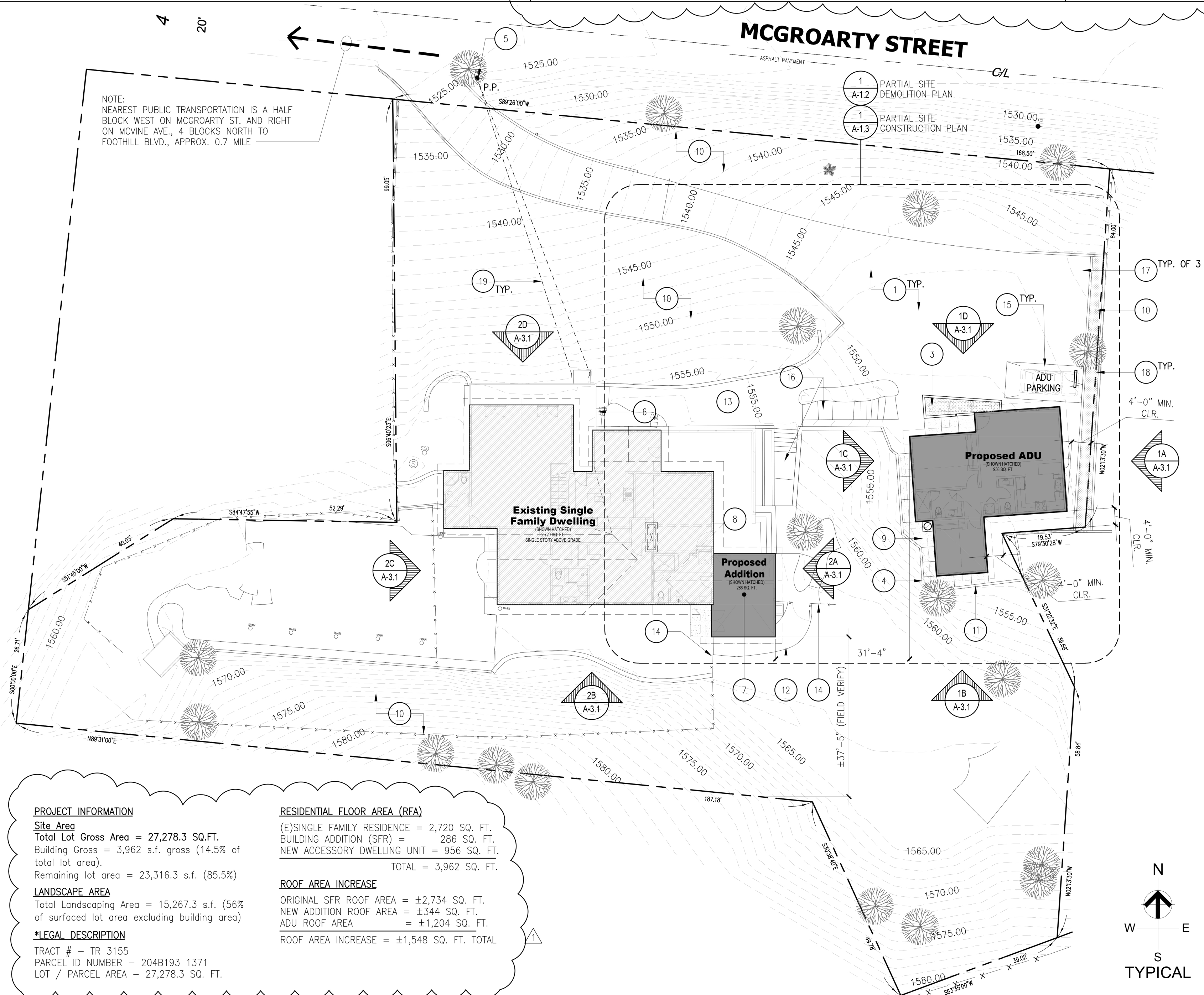
2

SITE PLAN KEYNOTES

- 1 EXISTING ASPHALT PAVED SURFACE TO REMAIN TYP.
- 2 CONCRETE PAD, SEE ENLARGED CONSTRUCTION PLAN 1/A-1.3 FOR INFO. TYP.
- 3 NEW PLANTER AREA, SEE NEW CONSTRUCTION PLANS TYP.
- 4 NEW MASONRY RETAINING WALL AND FOOTING, SEE STRUCT. TYP.
- 5 EXISTING UTILITY POLE
- 6 EXISTING HOUSE ELECTRICAL METER LOCATION TO REMAIN TYP.
- 7 PROPOSED HOUSE ADDITION (APPROX. 286 S.F.), SEE ENLARGED SITE PLAN 1/A-1.3 FOR INFO. TYP.
- 8 EXISTING STONE PAVED PORCH WALKWAY MODIFIED, SEE SHEET A-2.2 FOR WORK INFO. THIS AREA.
- 9 NEW CONCRETE WALKWAY AND FOOTINGS TYP.
- 10 EXISTING PLANTED AREA TO REMAIN TYP.
- 11 EXISTING MASONRY WALL TYP.
- 12 EXISTING STONE PAVED WALKWAY MODIFIED TO ACCOMMODATE NEW CONSTRUCTION TYP.
- 13 (E)PAVED DRIVE AISLE TO REMAIN TYP.
- 14 (E)WROUGHT IRON FENCE MODIFIED TO ACCOMMODATE NEW CONSTRUCTION TYP.
- 15 1 OPEN STANDARD PARKING SPACES PROVIDED (ADU PARKING), SEE 1A/A-1.4 FOR INFORMATION TYP.
- 16 (E)STONE PAVED STEPS UP TO (E)SINGLE FAMILY RESIDENCE TO REMAIN.
- 17 CONCRETE WHEEL STOP TYP.
- 18 (E)PROPERTY LINE TYP.
- 19 EXISTING OVERHEAD POWER LINES TO REMAIN TYP.

SITE LEGEND

- EXISTING SINGLE FAMILY RESIDENCE TO REMAIN TYP.
- PROPOSED NEW ADU CONSTRUCTION, SEE SHEETS A-2.1 & A-2.2 FOR INFO.
- NEW WALKWAY TYP.
- LANDSCAPED AREA & IRRIGATION SYSTEM
- (E)FIRE HYDRANT
- (E)PROPERTY LINE



PROJECT INFORMATION

Site Area  
Total Lot Gross Area = 27,278.3 SQ.FT.  
Building Gross = 3,962 s.f. gross (14.5% of total lot area).  
Remaining lot area = 23,316.3 s.f. (85.5%)

LANDSCAPE AREA

Total Landscaping Area = 15,267.3 s.f. (56% of surfaced lot area excluding building area)

\*LEGAL DESCRIPTION

TRACT # - TR 3155  
PARCEL ID NUMBER - 204B193 1371  
LOT / PARCEL AREA - 27,278.3 SQ. FT.

RESIDENTIAL FLOOR AREA (RFA)

(E)SINGLE FAMILY RESIDENCE = 2,720 SQ. FT.  
BUILDING ADDITION (SFR) = 286 SQ. FT.  
NEW ACCESSORY DWELLING UNIT = 956 SQ. FT.  
TOTAL = 3,962 SQ. FT.

ROOF AREA INCREASE

ORIGINAL SFR ROOF AREA = ±2,734 SQ. FT.  
NEW ADDITION ROOF AREA = ±344 SQ. FT.  
ADU ROOF AREA = ±1,204 SQ. FT.  
ROOF AREA INCREASE = ±1,548 SQ. FT. TOTAL

OVERALL SITE PLAN

SCALE: 1/16"=1'-0"

1

BOLADarck

ARCHITECTURE . ENGINEERING

408 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLADarck Design Corp. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

OVERALL SITE PLAN & NOTES

BOLADarck Design + N. Battle A.I.A. Architect, Inc.

Revisions :

Date :

Plan Check Submittal -

Back Check 1 03/03/2025

Designer :

JPB

Manager :

-

Date : 02/22/2025

Job No : -

Drawing No :

A-1.1

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/ FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND GIVE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CONFIRM. DO NOT SCALE DRAWING.





VIEW LOOKING SOUTH / WEST- PHOTO #5



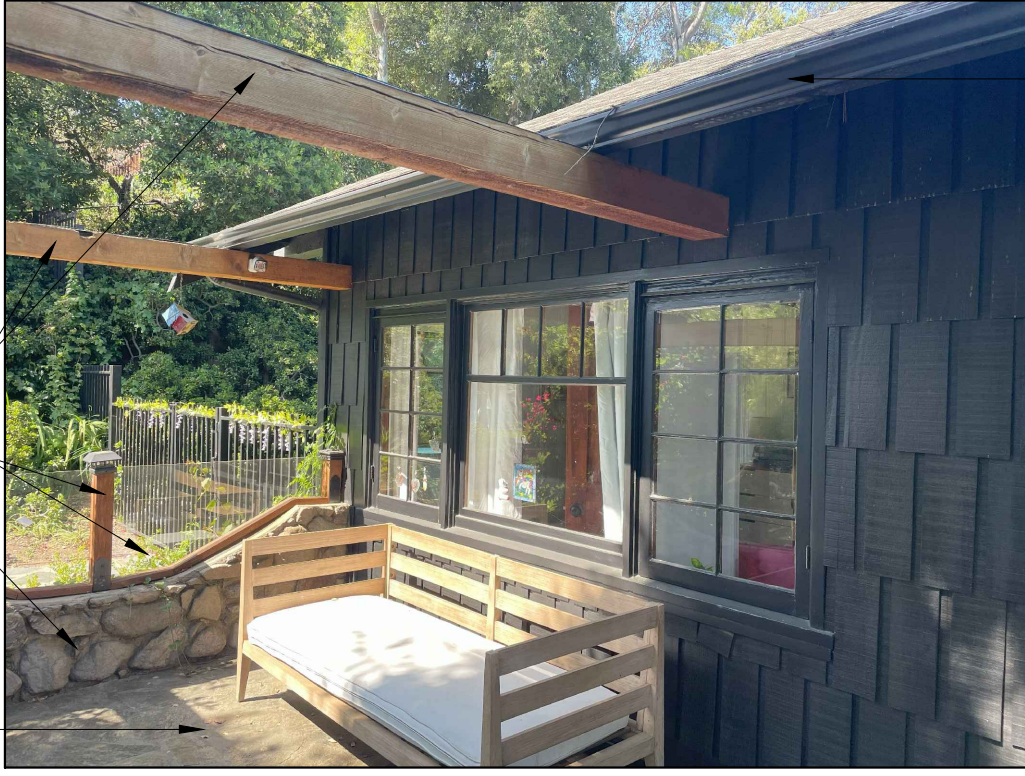
VIEW LOOKING NORTH / WEST- PHOTO #4



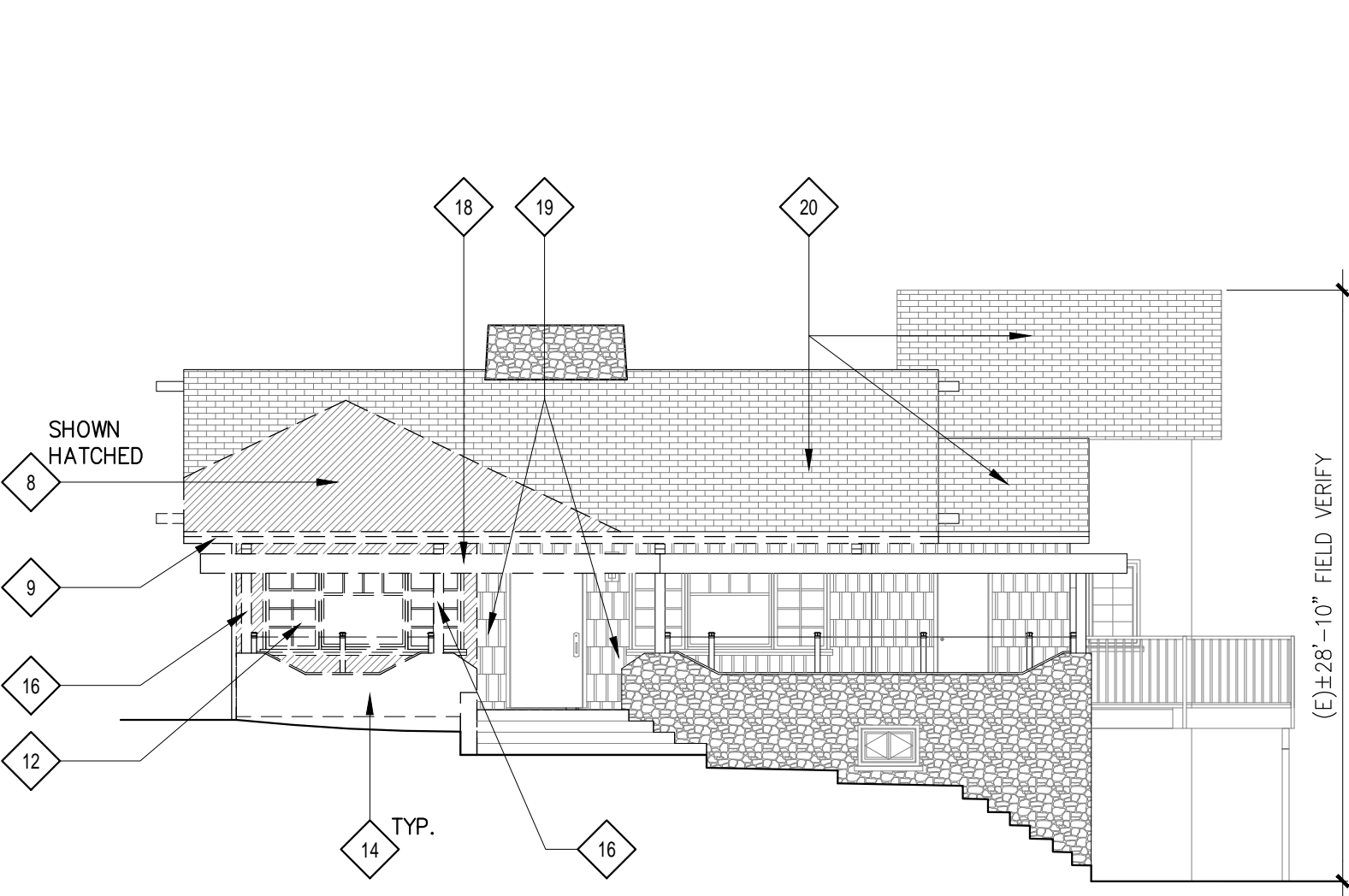
VIEW LOOKING SOUTH / WEST- PHOTO #3



VIEW LOOKING SOUTH / EAST - PHOTO #2

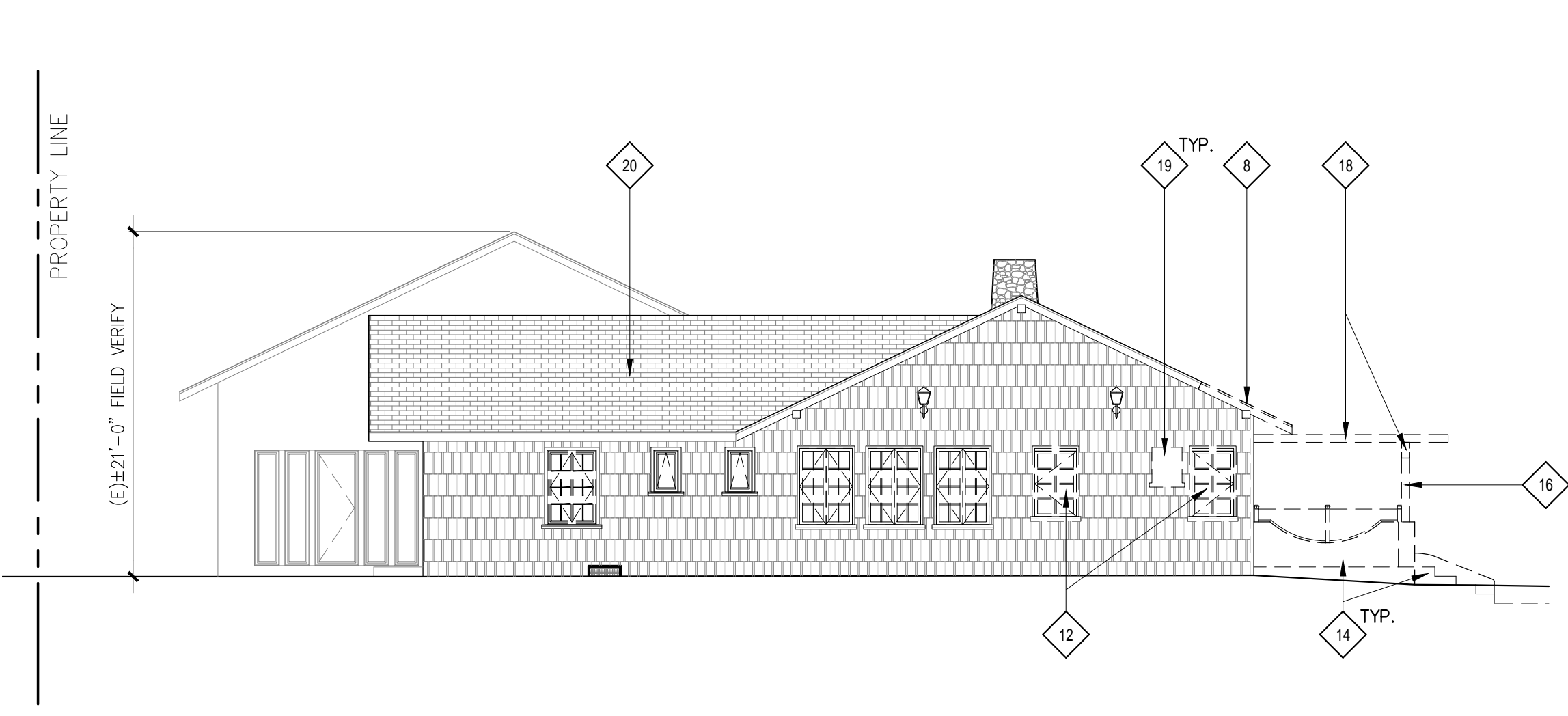


VIEW LOOKING SOUTH / WEST- PHOTO #1



(E)OVERALL EAST ELEVATION

NOTE:  
SEE HOUSE KEY PLAN 1D/A-2.2 FOR  
LOCATION OF NEW WINDOWS AND  
(E)WINDOWS TO BE REPLACED TYP.

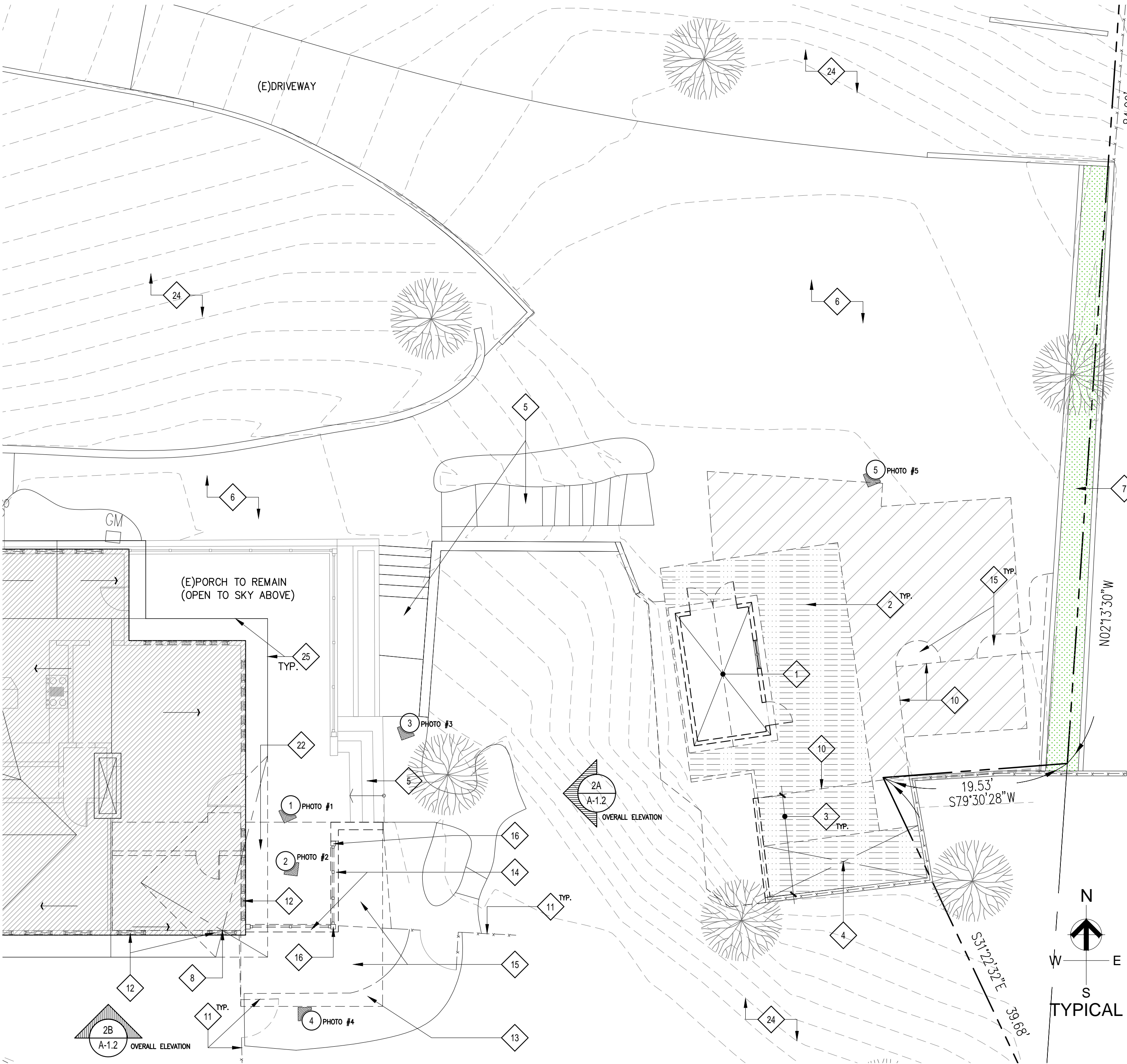


(E)OVERALL SOUTH ELEVATION

DEMOLITION EXTERIOR ELEVATIONS

SCALE: 1/8"=1'-0"

2



DEMOLITION KEYNOTES

- 1 EXISTING STORAGE SHED TO BE REMOVED AND RELOCATED, CONSULT W/ OWNER TYP.
- 2 EXISTING CONCRETE SLAB AND RELATED FOOTING TO BE DEMOLISHED COMPLETE TYP.
- 3 PORTION OF EXISTING MASONRY WALL & FOOTING TO BE DEMOLISHED COMPLETE, SEE STRUCT.
- 4 (E)RAISED CONCRETE PLATFORM W/ RELATED FOOTINGS TO BE DEMOLISHED COMPLETE, PREP AREA FOR NEW CONSTRUCTION TYP.
- 5 (E)STONE PAVED STEPS TO (E)SINGLE FAMILY RESIDENCE TO REMAIN TYP.
- 6 (E)ASPHALT PAVING TO REMAIN.
- 7 (E)PLANTED AREA AND CURBS TO REMAIN, PROTECT IN PLACE TYP.
- 8 EXTENT OF EXISTING ROOF SHEATHING & ASPHALT SHINGLE FINISH TO BE DEMOLISHED TYP.
- 9 (E)GUTTER & DOWNSPOUT TO BE REMOVED TYP.
- 10 DEMOLISH EXISTING WOOD FENCE, POSTS, OVERHEAD COVER (WHERE OCCURS) AND RELATED FOOTINGS COMPLETE TYP.
- 11 (E)WROUGHT IRON FENCING & GATE MODIFIED TO ACCOMMODATE NEW CONSTRUCTION TYP.
- 12 EXISTING WINDOW & FRAME TO BE DEMOLISHED, PREP FOR NEW WALL INFILL TYP.
- 13 (E)STONE PAVED WALKWAY MODIFIED TO ACCOMMODATE NEW CONSTRUCTION TYP.
- 14 EXISTING CONCRETE WALL, RIVER ROCK VENEER & FOOTINGS TO BE DEMOLISHED COMPLETE.
- 15 EXISTING LANDSCAPING, BUSHES AND SHRUBS THIS AREA TO BE REMOVED TO ALLOW FOR NEW CONSTRUCTION TYP.
- 16 (E)WOOD POST & RELATED ANCHORAGE TO BE DEMOLISHED COMPLETE TYP.
- 17 DEMOLISH EXISTING WINDOW AND FRAME, PREP OPENING & FINISHES TO RECEIVE NEW WINDOW SYSTEM & FRAME TYP.
- 18 OVERHEAD DECORATIVE WOOD BEAM TO BE DEMOLISHED TYP.
- 19 SAWCUT AND REMOVE PORTIONS OF (E)SIDING TO ACCOMMODATE NEW CONSTRUCTION, SEE 1/A-2.2 FOR EXTENT TYP.
- 20 (E)ASPHALT SHINGLES TO REMAIN, PROTECT IN PLACE TYP.
- 21 EXISTING CONCRETE CURB & FOOTING TO BE DEMOLISHED COMPLETE TYP.
- 22 SAWCUT AND REMOVE PORTION OF (E)CONCRETE PAVING AND RELATED FOOTING COMPLETE, SEE 1/A-2.2 FOR EXTENT TYP.
- 23 (E)DECORATIVE GLASS RAILING, POSTS AND RELATED ANCHORAGE TO BE DEMOLISHED COMPLETE TYP.
- 24 EXISTING PLANTED AREA TO REMAIN TYP.
- 25 OUTLINE OF (E)ROOF TO REMAIN TYP.

SITE LEGEND

- PORTION OF EXISTING SINGLE FAMILY DWELLING STRUCTURE TO REMAIN TYP.
- EXTENT OF (E)ASPHALT PAVING TO BE DEMOLISHED TO ALLOW FOR NEW CONSTRUCTION, SEE 1/A-1.3 TYP.
- EXTENT OF EXISTING CONCRETE SLAB & RELATED REINFORCING TO BE DEMOLISHED COMPLETE TYP.
- EXISTING LANDSCAPED AREA & IRRIGATION SYSTEM TO REMAIN / MODIFIED TO ACCOMMODATE NEW CONSTRUCTION TYP.
- (E)PROPERTY LINE TYP.

BOLADarck

ARCHITECTURE . ENGINEERING

408 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLADarck Design Corp. There are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

PARTIAL SITE  
DEMOLITION  
PLAN,  
ELEVATIONS &  
NOTES

Revisions : Date :

Plan Check Submittal -  
Back Check 1 03/03/2025

Designer : JPB  
Manager : -  
Date : 02/22/2025  
Job No : -

Drawing No :

A-1.2

EXISTING HOUSE IMAGES

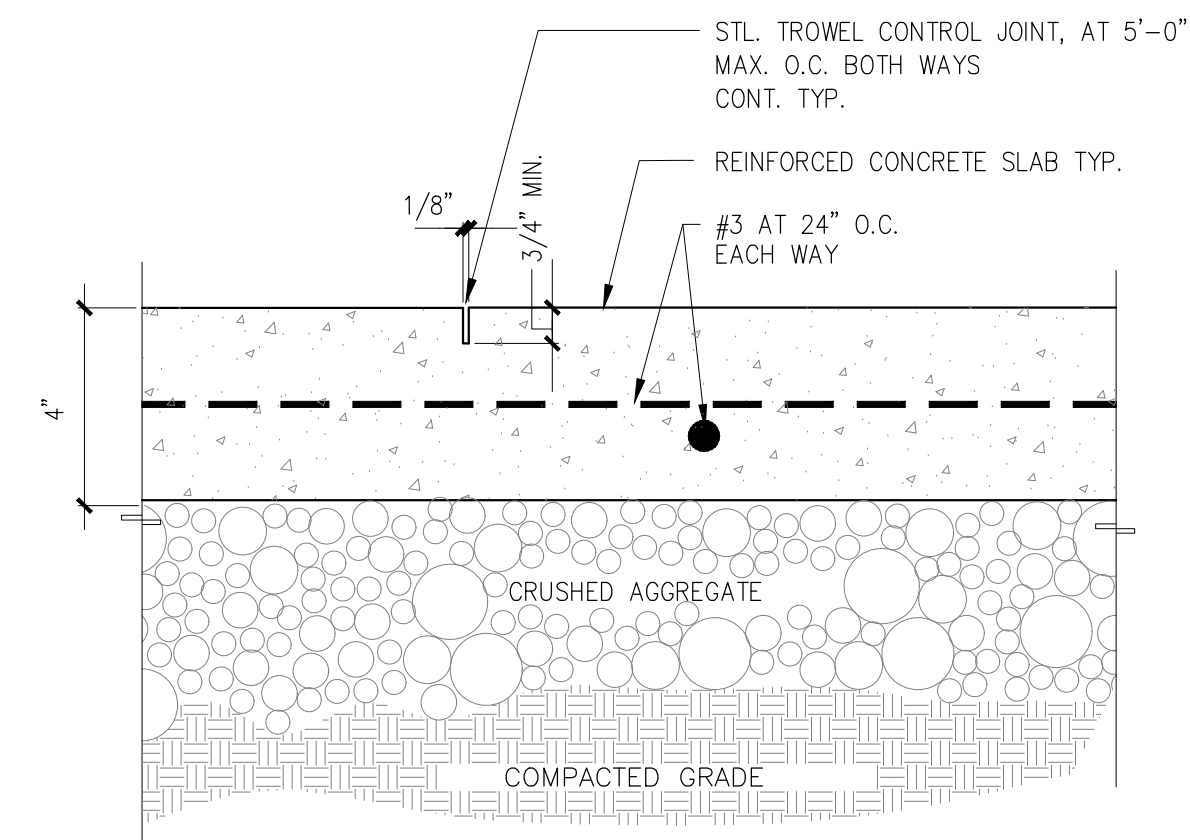
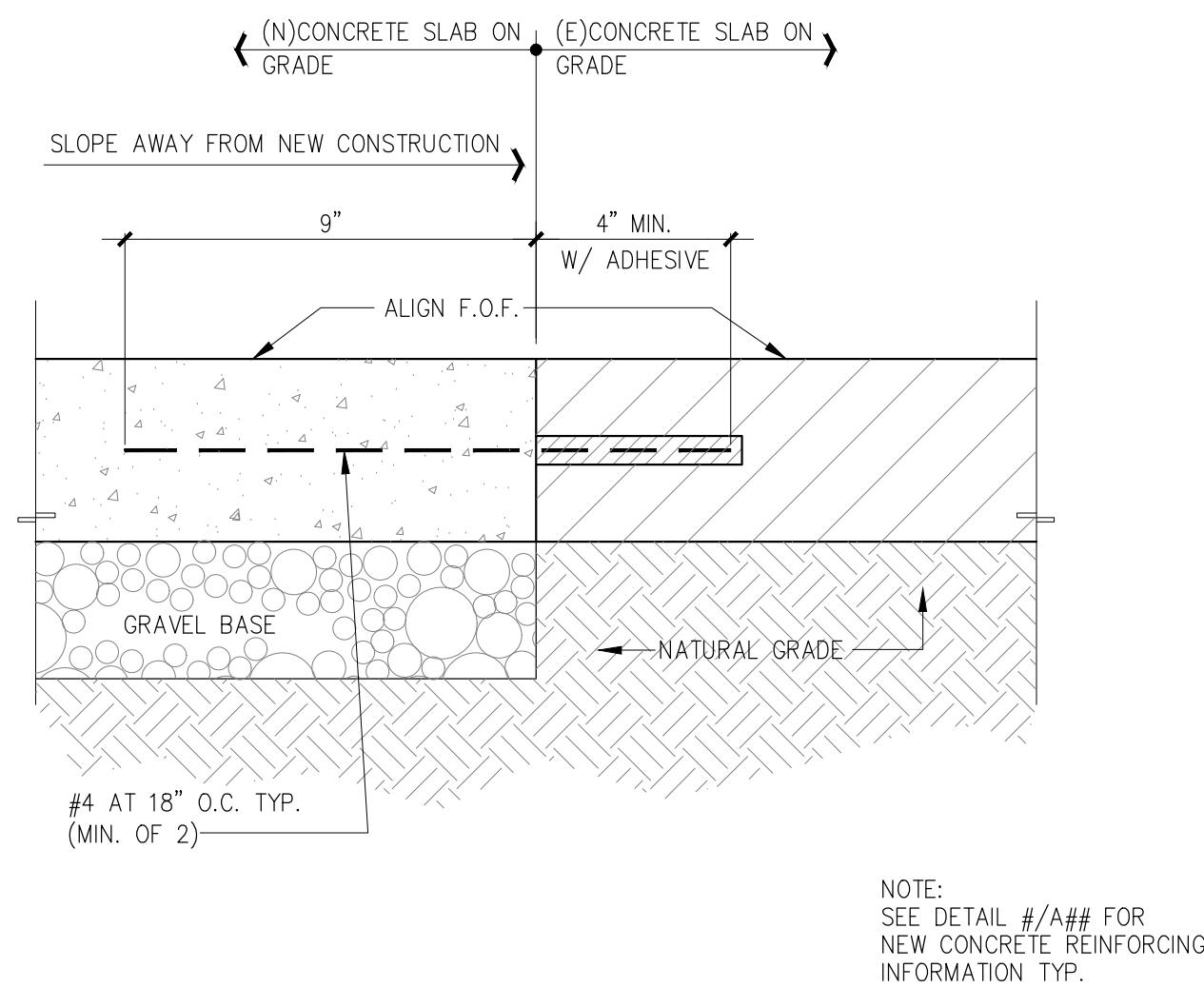
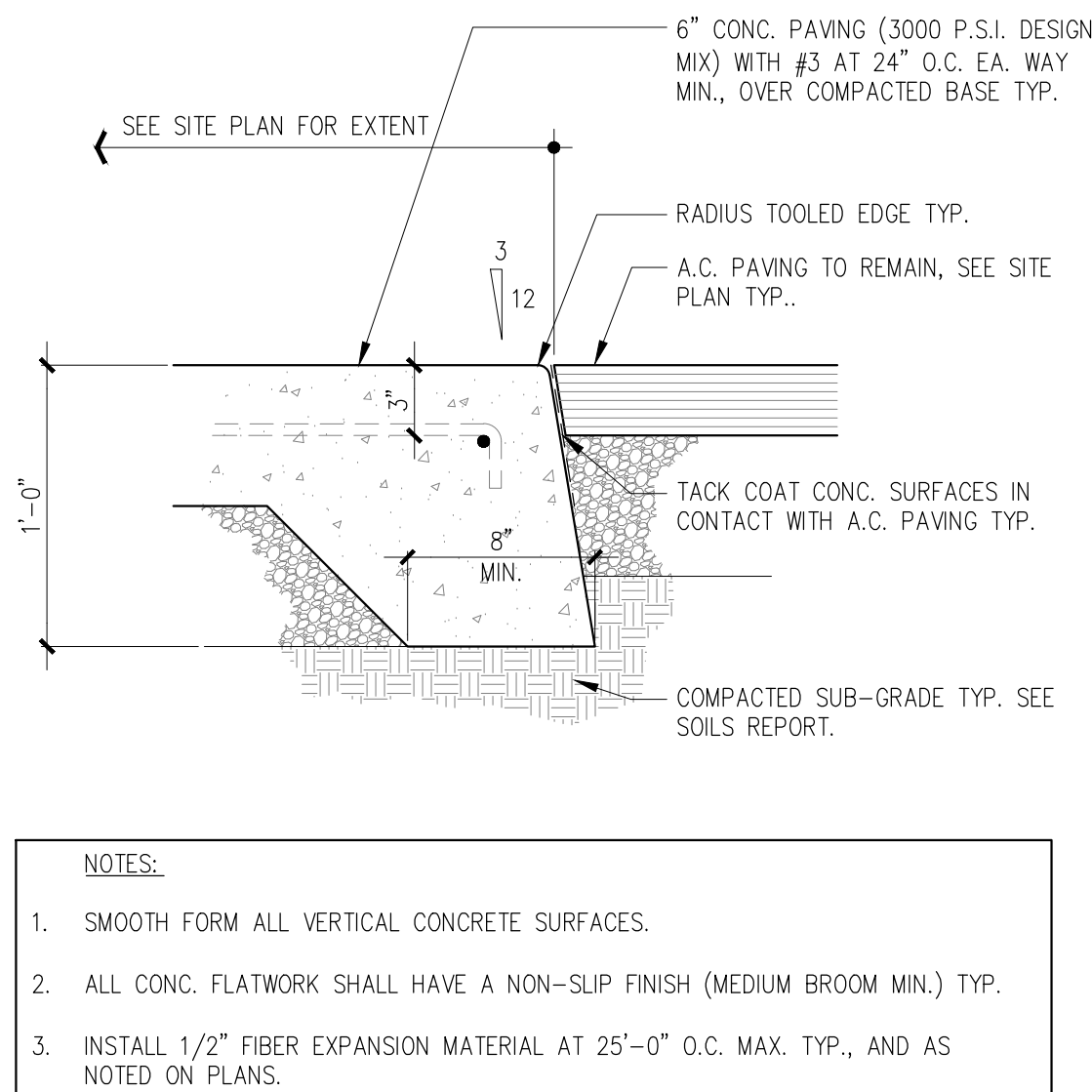
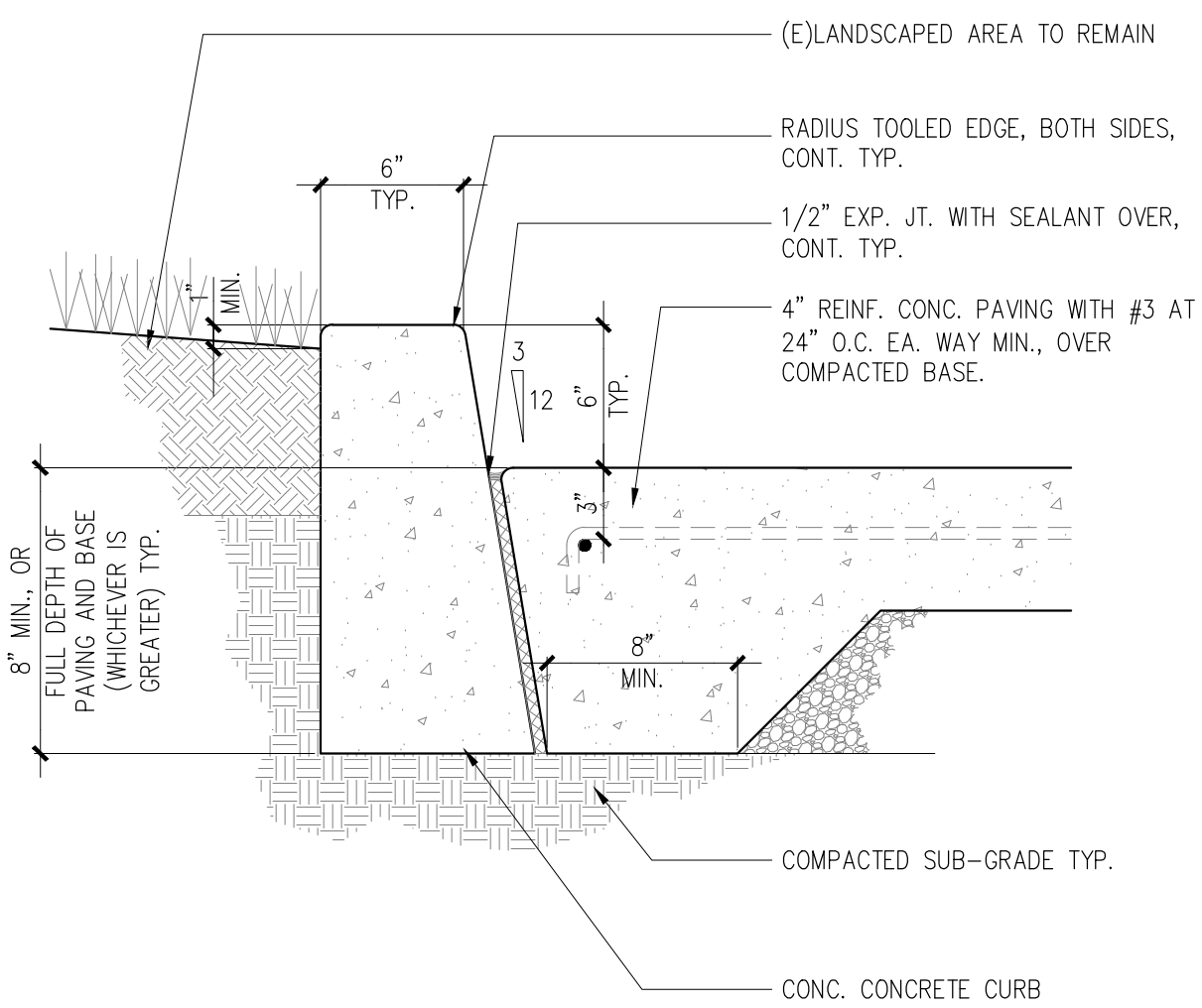
PARTIAL SITE DEMOLITION PLAN

SCALE: 1/8"=1'-0"

1

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/ FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND GIVE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CONFIRM. DO NOT SCALE DRAWING.





## CURB AT WALKWAY

SCALE: 1 1/2"=1'-0"

7

## CONCRETE PAVING TO A.C. PAVING

SCALE: 1 1/2"=1'-0"

4

## CONCRETE TRANSITION

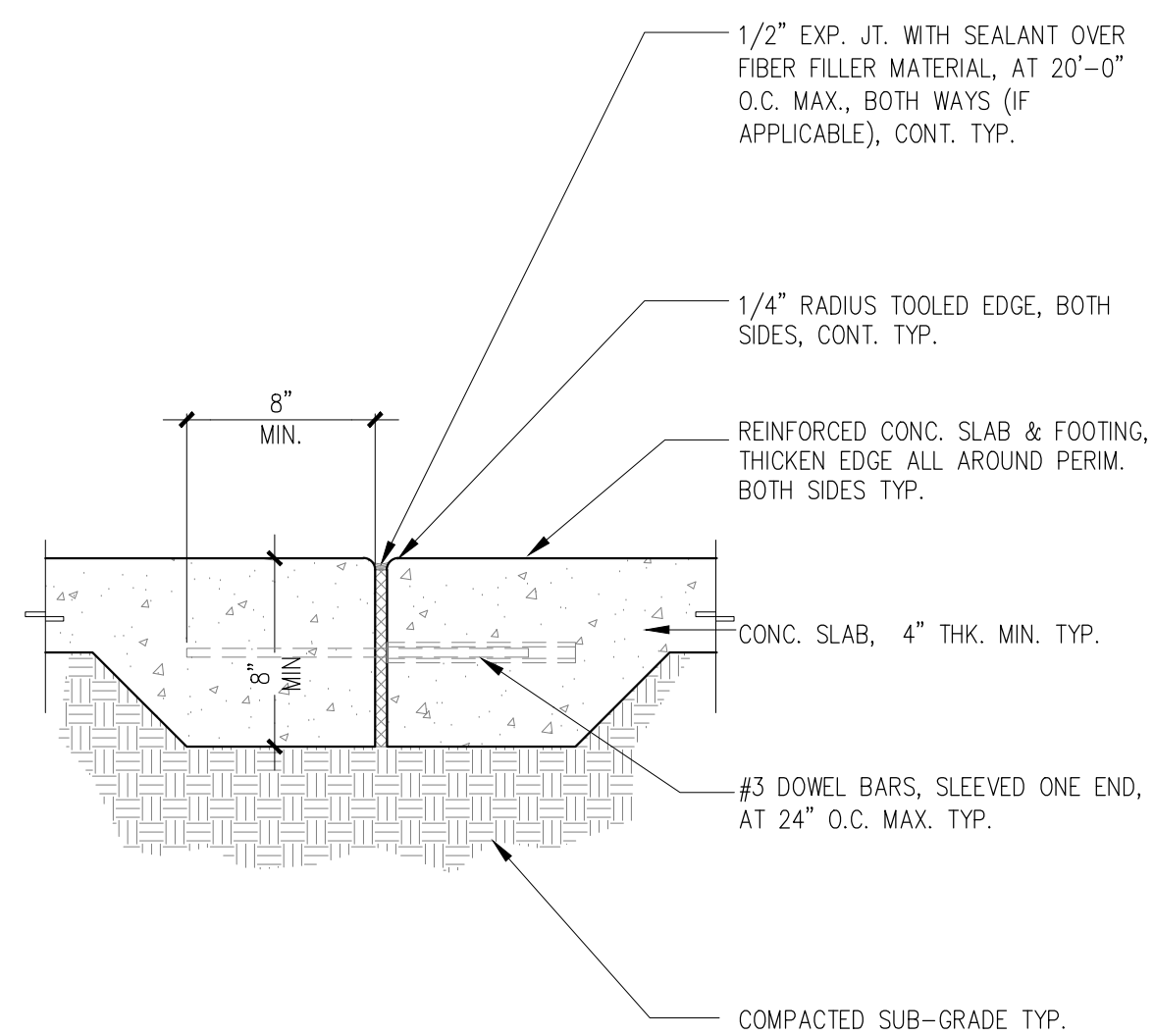
SCALE: 3"=1'-0"

3

### TYPICAL CONTROL JOINT

SCALE:  $3''=1'-0''$

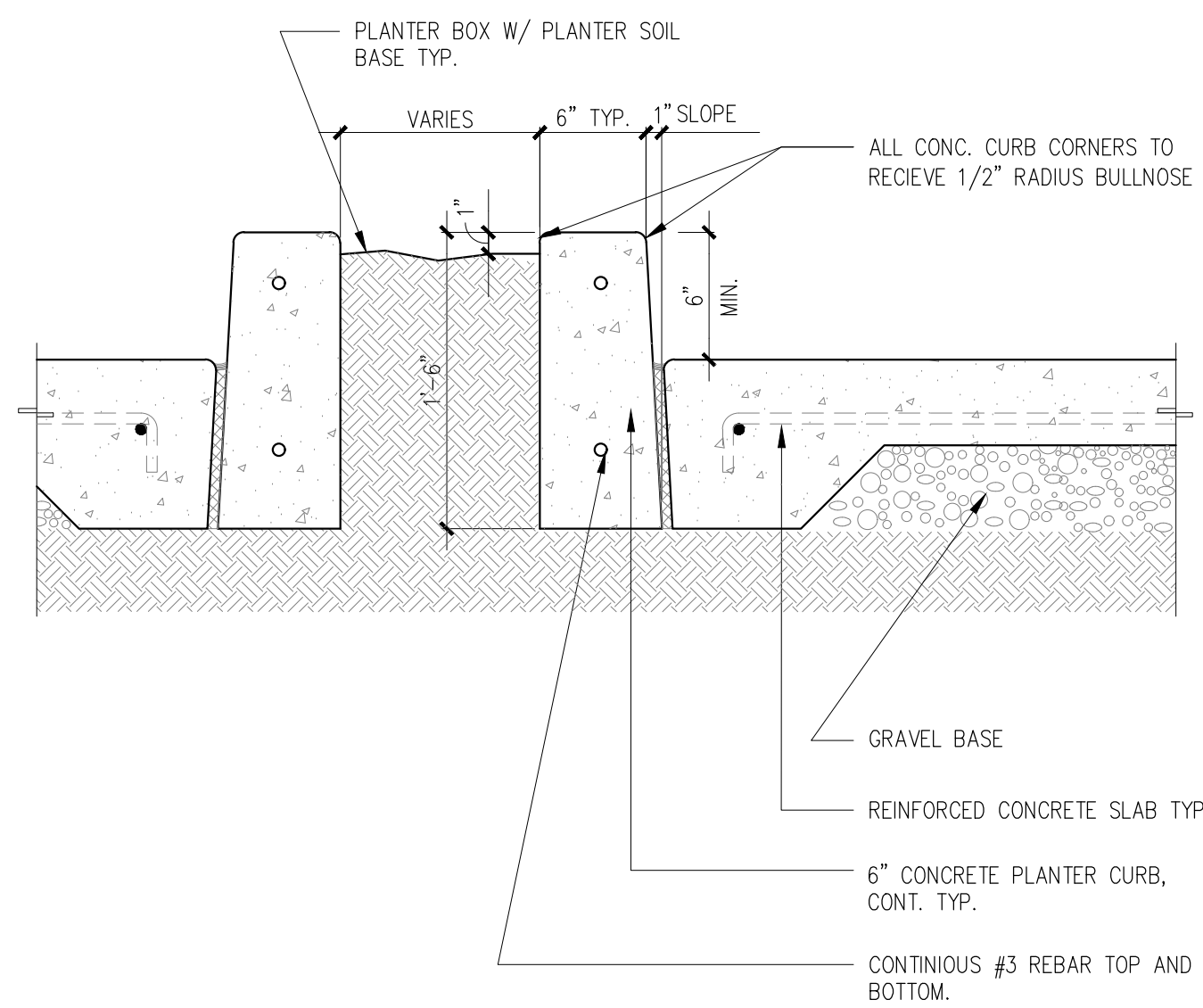
2



## EXPANSION JOINT

SCALE: 1 1/2"=1'-0"

6



CURB ON PLANTER

SCALE: 1 1/2"=1'-0"




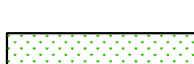

5



## NEW CONSTRUCTION KEYNOTES

- |    |   |    |   |
|----|---|----|---|
| 1  | (E)ASPHALT PAVING TO REMAIN.  | 13 | (E)PLANTED AREA TO REMAIN TYP.  |
| 2  | NOT USED.   | 14 | REINFORCED CONCRETE SLAB AND FOOTING, SEE STRUCTURAL DRAWINGS TYP.  |
| 3  | MASONRY RETAINING WALL AND FOOTING, SEE STRUCTURAL TYP.                         | 15 | ROOF OUTLINE (SHOWN DASHED) TYP.  |
| 4  | NEW PLANTER AREA, SEE NEW CONSTRUCTION PLANS TYP.                               | 16 | SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO COMMENCEMENT OF WROUGHT IRON GATE & FENCING MODIFICATIONS TYP.   |
| 5  | REINFORCED CONCRETE WALKWAY & FOOTINGS TYP.                                     | 17 | PATCH & REPAIR DAMAGES TO (E)STONE PAVED PLATFORM RESULTING FROM NEW CONSTRUCTION TO THE SATISFACTION OF THE OWNER TYP.                             |
| 6  | EXTENT OF INTERIOR REMODEL (APPROX. 165 S.F.), SEE 1/A-2.2 FOR INFORMATION TYP. | 18 | MODIFIED PLANTER TYP.   |
| 7  | NOT USED.   | 19 | PATCH & REPAIR DAMAGES TO (E)STONE PAVED STEPS RESULTING FROM NEW CONSTRUCTION TO THE SATISFACTION OF THE OWNER TYP.                                |
| 8  | (E)CONCRETE CURB AND PLANTER TO REMAIN TYP.                                     | 20 | ALL TREES & ROOTS THIS AREA IN CONFLICT WITH NEW CONSTRUCTION SHALL BE CUT BACK, CONSULT ARBORIST FOR PROPER INSTRUCTIONS AND TREATMENT METHOD TYP. |
| 9  | WATER HEATER ENCLOSURE TYP.   | 21 | PORTION OF (E)MASONRY WALL & FOOTING TO REMAIN, SEE DEMOLITION PLAN 1/A-1.2 FOR EXTENT TYP.   |
| 10 | 1 STANDARD (OPEN) PARKING STALL, SEE 2/A-1.1 FOR INFO.                          | 22 | CRAWL SPACE AREAWAY ENTRY, SEE 2/A-7.2 FOR DETAIL INFO. TYP.  |
| 11 | (E)STONE PAVED STEPS TO REMAIN TYP.   |    |   |
| 12 | (E)PROPERTY LINE TYP.   |    |   |

### SITE LEGEND

- |   |  |
|---|--|
|  | EXTENT OF NEW CONSTRUCTION TYP.  |
|  | PORION OF EXISTING SINGLE FAMILY DWELLING STRUCTURE TO REMAIN TYP.                                   |
|  | EXTENT OF NEW REINFORCED CONCRETE SLAB AND FOOTINGS TYP., SEE STRUCTURAL FOR ADDITIONAL INFORMATION. |
|  | LANDSCAPED AREA & IRRIGATION SYSTEM TYP.   |
|  | (E)PROPERTY LINE TYP.  |

NOTES:

1. ALL FINISHES ARE NEW (U.N.O.), TYP.
2. WHERE ITEMS OR SURFACES ARE NOT SPECIFICALLY MENTIONED, PAINT THE SAME AS SIMILAR ADJACENT MATERIALS OR AREAS.
3. ALL SURFACES SHALL BE IN PROPER CONDITION TO RECEIVE FINISH. IT IS IMPERATIVE THAT ALL SANDING, SCRAPING, FILLING, BRUSHING AND CLEANING TO BE DONE TO ASSURE FINISH ACCEPTABLE TO THE OWNER. FILL HOLES IN WOOD TO RECEIVE PAINTED FINISH.
4. DO NOT PAINT FACTORY FINISHED ITEMS UNLESS SPECIFICALLY DIRECTED.

## ARCHITECTURE . ENGINEERING

408 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLAardack Design Corp. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.


PROJECT NAME &amp; SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

**Drawing Content :**

PARTIAL SITE  
NEW CONST.  
PLAN, DETAILS  
& NOTES

Revisions : \_\_\_\_\_ Date : \_\_\_\_\_

Plan Check Submittal	-
 Back Check 1	03/03/2025

Designer :	JPB
Manager :	-
Date :	02/22/2025
Job No :	-

Drawing No :

# A-1.3

**BOLADarck Design + N. Battle A.I.A. Architect, Inc.**



Ceiling Plan Legend

- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 
- 

Floor Plan Legend

- 
- 
- 
- 
- 

NOTES:

- The construction shall not restrict a five-foot clear and unobstructed access to any water or power distribution facilities (Power poles, pull-boxes, transformers, vaults, pumps, valves, meters, appurtenances, etc.) or to the location of the hook-up. The construction shall not be within ten feet of any power lines-whether or not the lines are located on the property. Failure to comply may cause construction delays and/or additional expenses.
- An approved Seismic Gas Shut Off Valve or Excess Flow Shut Off valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping. (per Ordinance 170,158 and 180,670) Separate plumbing permit is required.
- Provide ultra-flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water consumption.
- Provide (70)(72) inch high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure. (1210.2.3, 2406.4.5, R307.2, R308.4).
- Water heater must be strapped to wall. (507.3 & LAPC)
- Carbon monoxide alarm is required per (420.6, R315).

NEW CONSTRUCTION KEYNOTES

- 1

STACKED WASHED & DRYER LOCATION, VENT THRU WALL TYP.
- 2

PROPOSED REFRIGERATOR LOCATION (N.I.C.)
- 3

DOOR, FRAME & HARDWARE. SEE DOOR SCHEDULE FOR INFO.
- 4

WATER HEATER LOCATION TYP.
- 5

NEW CASEWORK (STYLE/FINISH TBD). SEE INTERIOR ELEVATIONS TYP.
- 6

DOUBLE COMPARTMENT SINK, TYP.
- 7

SUSPENDED PENDANT LIGHT FIXTURE TYP.
- 8

GYP. BOARD FINISH, W.R. @ WET AREAS, PAINTED AS SCHEDULED TYP.
- 9

OVERHEAD CABINETS W/ ADJUSTABLE SHELVING (SHOWN DASHED), STYLE & FINISH TBD TYP.
- 10

NEW WINDOW, FRAME & GLAZING AS SCHEDULED, SEE SHEET A-6.1 FOR INFORMATION TYP.
- 11

RECESSED LED CAN LIGHT FIXTURE TYP.
- 12

SURFACE MOUNTED LIGHT FIXTURES TYP.
- 13

SHELF & POLE @ +5'-6" A.F.F. TYP.

14

STOVE / OVEN LOCATION W/ EXHAUST THRU ROOF TYP.

15

HARD SURFACE COUNTER & SINK WITH VANITY CABINET STORAGE BELOW TYP.

16

WALK-IN SHOWER, SEE -/A-7.1 FOR SECTION TYP.

17

FUTURE LCD MONITOR LOCATION ON WALL BRACKET, TYP.

18

NOT USED.

19

ROOF OVERHANG (SHOWN DASHED), SEE 1/A-2.3 FOR INFORMATION TYP.

20

22 X 30 ACCESS PANEL, SEE DETAIL 10/A-7.1 FOR INFO. TYP.

21

EXHAUST FAN, VENT THRU ROOF TYP.

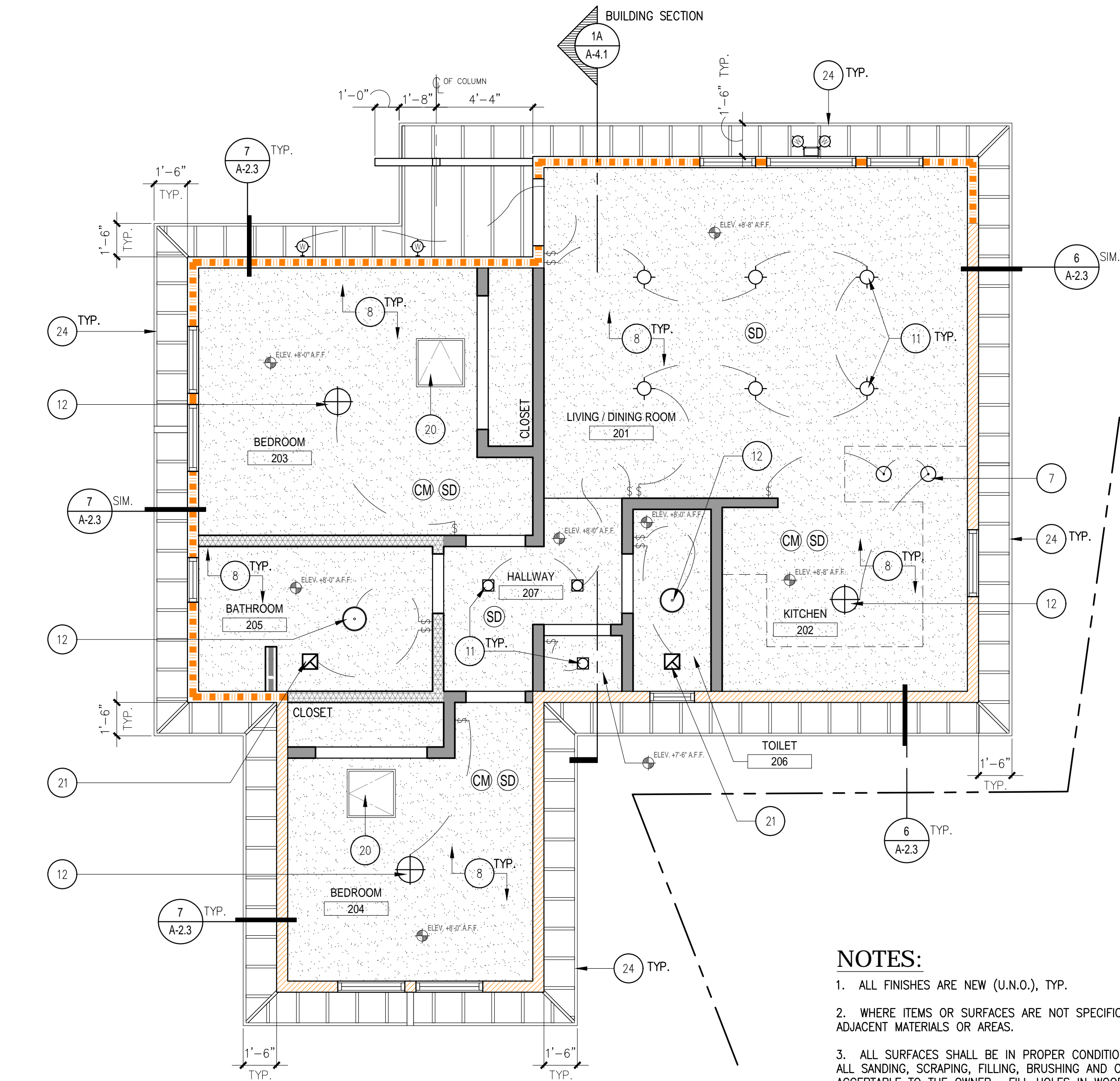
22

PLANTED AREA, SEE A/A-1.3 TYP.

23

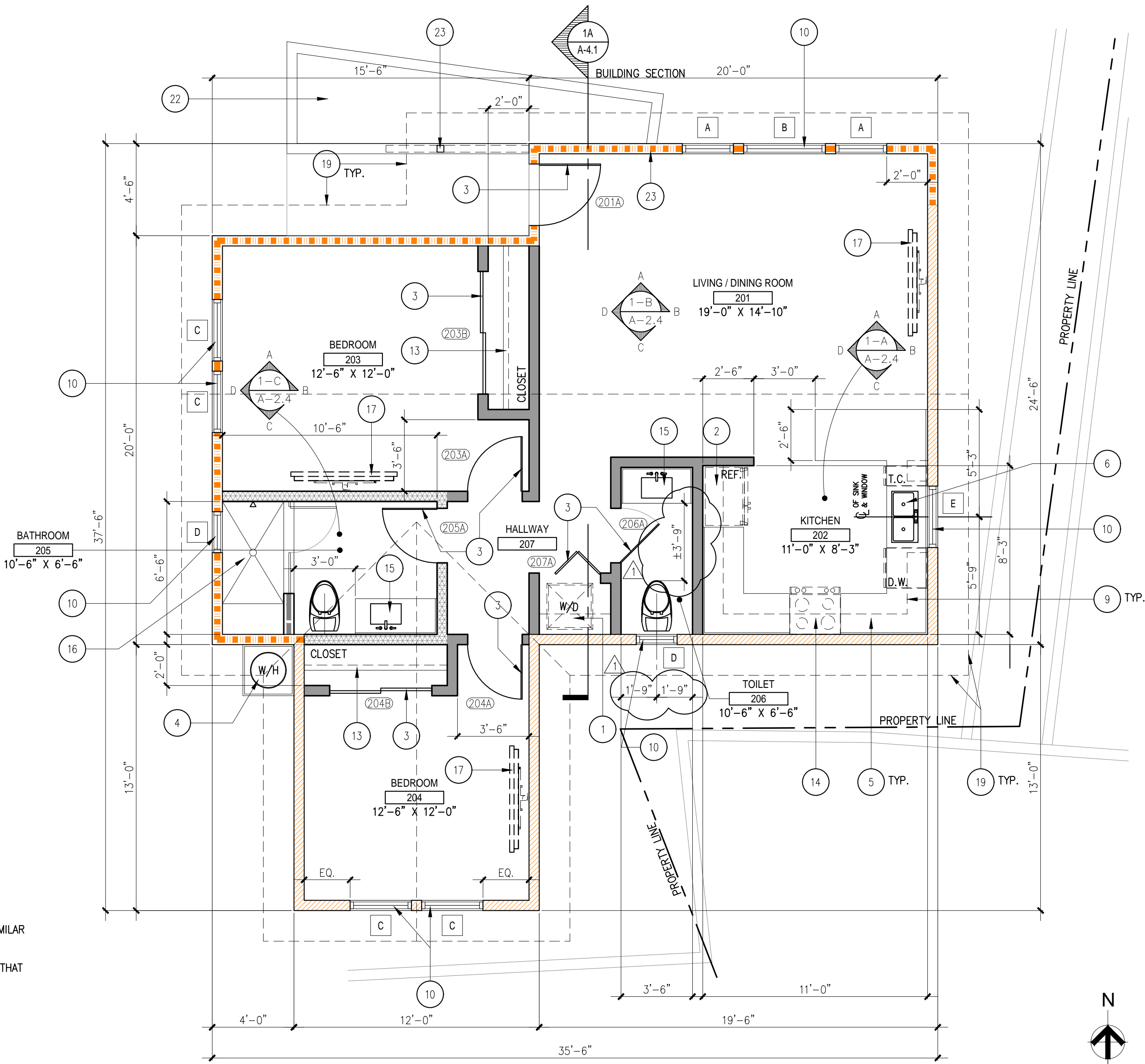
NOT USED.

24

CONT. 2 X WD. FASCIA, PAINTED TYP.

OVERALL REFLECTED CEILING PLAN

SCALE: AS NOTED



OVERALL FLOOR PLAN

SCALE: AS NOTED

BOLADarck

ARCHITECTURE . ENGINEERING

408 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLADarck Design Corp. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

ACCESSORY  
DWELLING UNIT  
PLANS, NOTES  
& LEGENDS

Revisions : Date :

Plan Check Submittal -  
Back Check 1 03/03/2025

Designer : JPB  
Manager : -  
Date : 02/22/2025  
Job No : -

Drawing No :

A-2.1

SCALE: 1/4"=1'-0"

1

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/ FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND GIVE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CONFIRM. DO NOT SCALE DRAWING.



Demolition Notes:

- A. GENERAL
- By careful study of the Contract Documents, determine the location of extent of selective demolition to be performed. In company with the Owner, visit the site and verify the extent and location of selective demolition required.
    - Carefully identify limits of selective demolition.
    - Mark interface surfaces as required to enable workmen also to identify items to be removed and items to be left in place intact.
    - Prepare and follow an organized plan for demolition and removal of items.
  - Do not store or permit debris to accumulate on the site.
  - General work shall not proceed until all protective work is placed as required to protect the properties activities or occupants from the hazards of the work. Noise, dust, etc., shall be kept to a minimum by careful handling, dampening, etc. as required.
  - Existing work damaged in the execution of the work shall be repaired or restored to it's original condition, subject to acceptance of the Owner at the Contractor's expense.
  - Demolition shall be done only by experienced workers using appropriate tools and equipment and provided with all necessary safeguards.
  - Wherever the removal of any existing finished surface is required by the drawings and/or specifications, the contractor shall make due allowance for finishing all unfinished surfaces exposed as a result of such work.
  - Extreme care shall be exercised to prevent chipping, breakage, bending and mis-handling of all materials.
  - Upon completion of demolition work, leave the property and adjacent areas clean and satisfactory to the Owner.

B. ARCHITECTURE

- Partitions: Remove partition finish, studs, plates and sills. Where only a partial run is removed, cut back finish material to the centerline of the next adjacent support to remain. Leave remaining material with a clean terminal line, with no loose material adhering. Patch and refinish wall surfaces to match existing in areas damaged by removal of intersecting partitions. Contractor shall be responsible for patching and otherwise matching existing construction and finishes at interface areas.

- C. PLUMBING AND ELECTRICAL
- Carefully review drawings and determine lines to be removed and those to be kept active or to be reactivated. Protect lines to remain. Provide for minimum service interruption of lines to remain.
  - Remove lines completely wherever possible. Cut and cap, or plug in a positive manner, behind the back of finished material.
  - Contractor shall maintain and/or reconnect continuity for all Plumbing, Electrical and Gas utility services that serve other areas.
- Notes:
- ALL FINISHES ARE NEW (U.N.O.), TYP.
  - WHERE ITEMS OR SURFACES ARE NOT SPECIFICALLY MENTIONED, PAINT THE SAME AS SIMILAR ADJACENT MATERIALS OR AREAS.
  - ALL SURFACES SHALL BE IN PROPER CONDITION TO RECEIVE FINISH. IT IS IMPERATIVE THAT ALL SANDING, SCRAPING, FILLING, BRUSHING AND CLEANING TO BE DONE TO ASSURE FINISH ACCEPTABLE TO THE OWNER. FILL HOLES IN WOOD TO RECEIVE PAINTED FINISH.
  - DO NOT PAINT FACTORY FINISHED ITEMS UNLESS SPECIFICALLY DIRECTED.

PLAN KEYNOTES

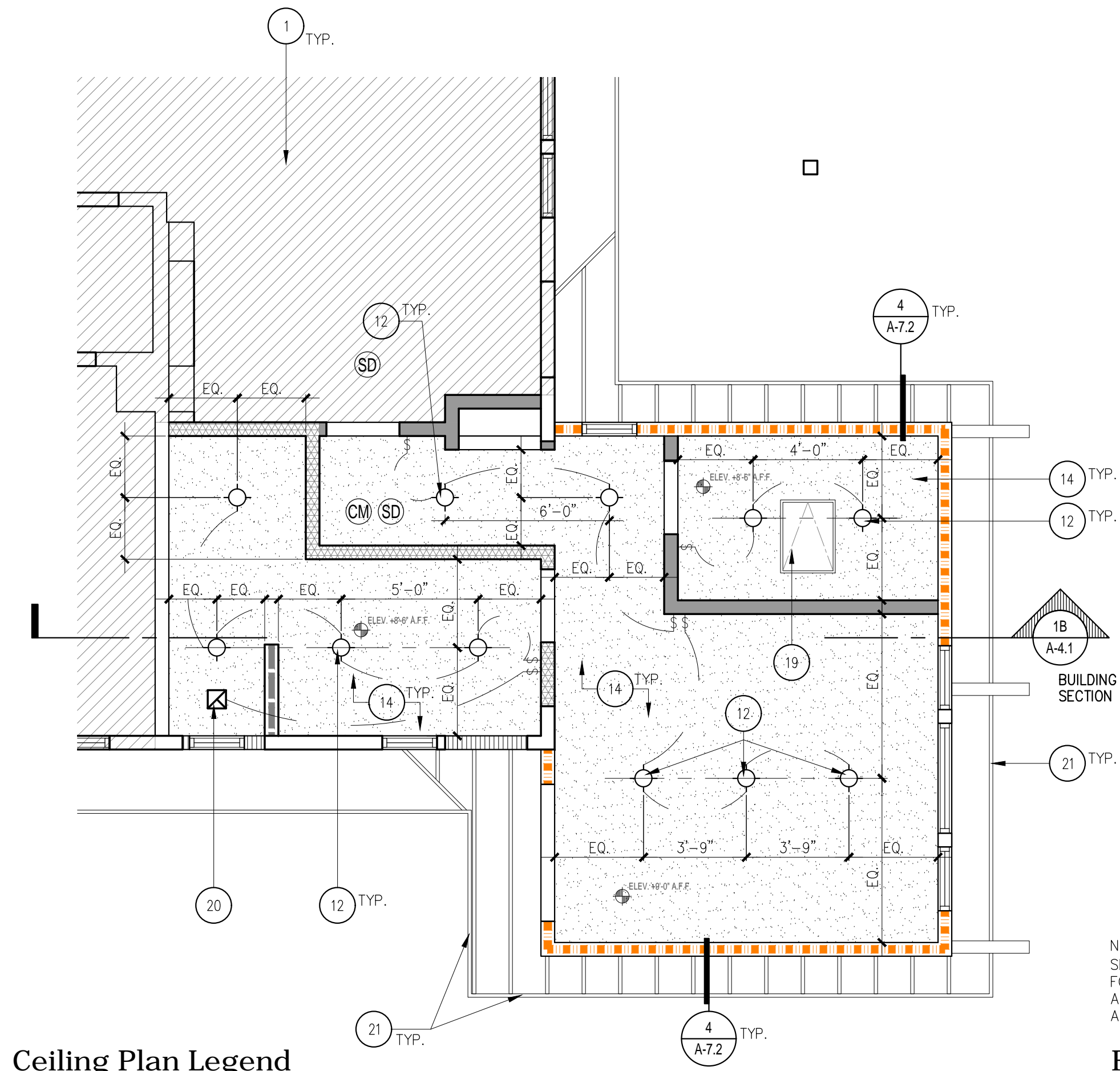
- HATCHED AREA INDICATES EXISTING CONSTRUCTION & FINISHES TO REMAIN, PATCH & REPAIR ANY DAMAGES RESULTING FROM NEW CONSTRUCTION TO THE SATISFACTION OF THE OWNER TYP.
- EXTENT OF SAWCUT AND REMOVAL OF (E)SLAB W/ STONE PAVED VENEER, PREP AREA FOR NEW CONSTRUCTION TYP.
- DOOR, FRAME & HARDWARE. SEE DOOR SCHEDULE FOR INFO.
- EXTENT OF PROPOSED INTERIOR REMODEL (APPROX. 159 S.F.), SEE (N)CONST. PLANS TYP.
- (E)WINDOW, HARDWARE, FRAME & RELATED ANCHORAGE TO BE DEMOLISHED COMPLETE TYP.
- HARD SURFACE COUNTER & SINKS WITH VANITY CABINET STORAGE BELOW TYP.
- SUSPENDED PENDANT LIGHT FIXTURE TYP.
- ROOF OVERHANG (SHOWN DASHED), TYP.
- SHelf & POLE @ +5'-6" A.F.F. TYP.
- NEW WINDOW, FRAME & GLAZING AS SCHEDULED, SEE SHEET A-6.1 FOR INFORMATION TYP.
- PATCH AND REPAIR (E)PAVED STEPS DAMAGED AS A RESULT OF DEMOLITION & NEW CONSTRUCTION TYP.
- RECESSED LED CAN LIGHT FIXTURE TYP.
- PORTION OF (E)CONC. WALL, RIVER ROCK VENEER & RELATED FOOTING TO BE DEMOLISHED COMPLETE TYP.
- GYP. BOARD FINISH, W.R. @ WET AREAS, PAINTED AS SCHEDULED TYP.
- (E)STONE PAVED SURFACE TO REMAIN, PATCH & REPAIR ANY DAMAGES RESULTING FROM DEMOLITION & NEW CONSTRUCTION TYP.
- NOT USED.
- WALK-IN SHOWER, SEE SECTION 8/A-7.1 FOR INFORMATION TYP.
- FUTURE LCD MONITOR LOCATION ON WALL BRACKET, TYP.
- 22 X 30 ACCESS PANEL, SEE DETAIL 10/A-7.1 FOR INFO. TYP.
- EXHAUST FAN, VENT THRU ROOF TYP.
- CONT. 2 X WD. FASCIA, PAINTED TYP.
- CONCRETE PAD & FOOTINGS TYP.

HOUSE KEY PLAN

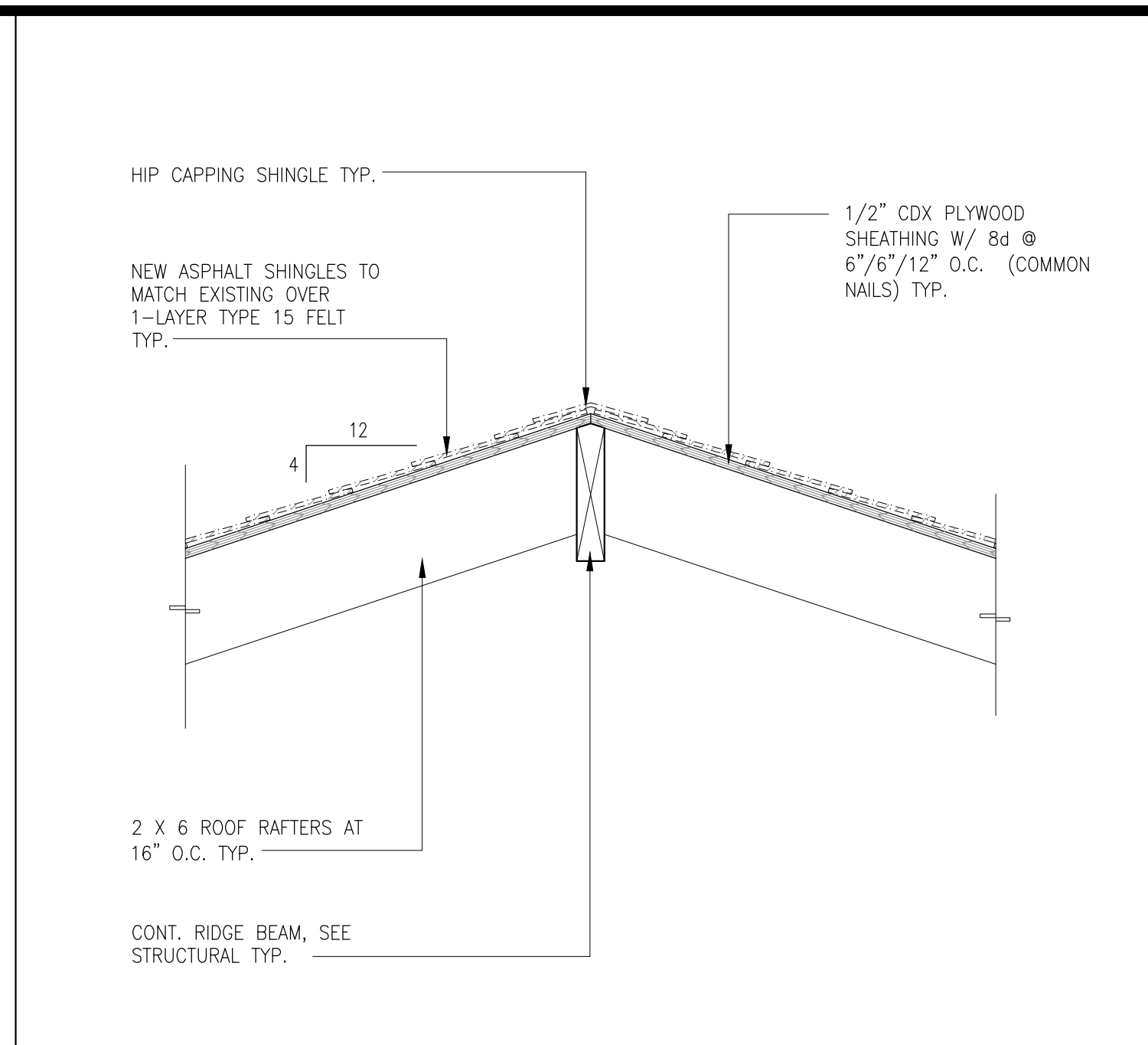
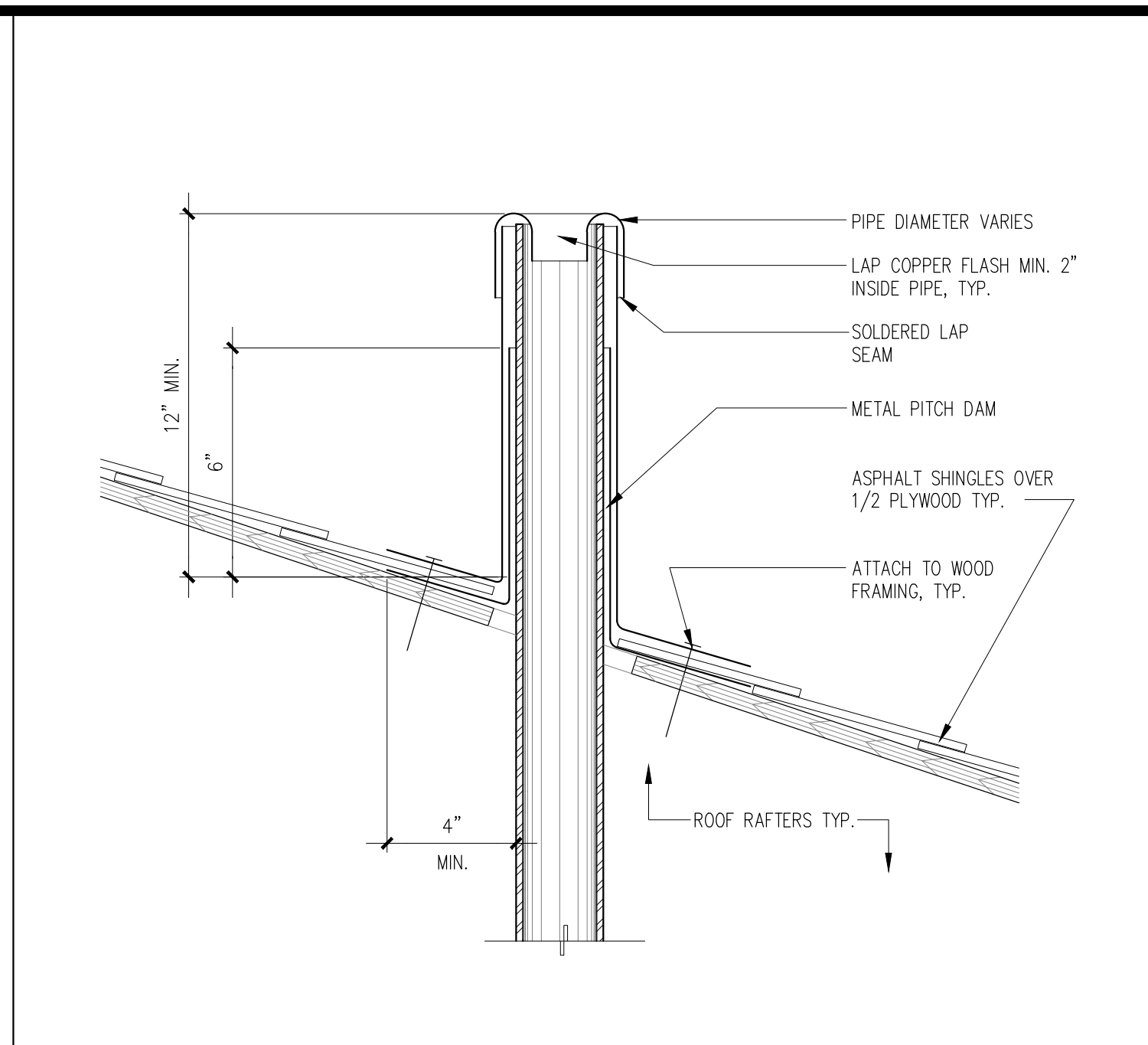
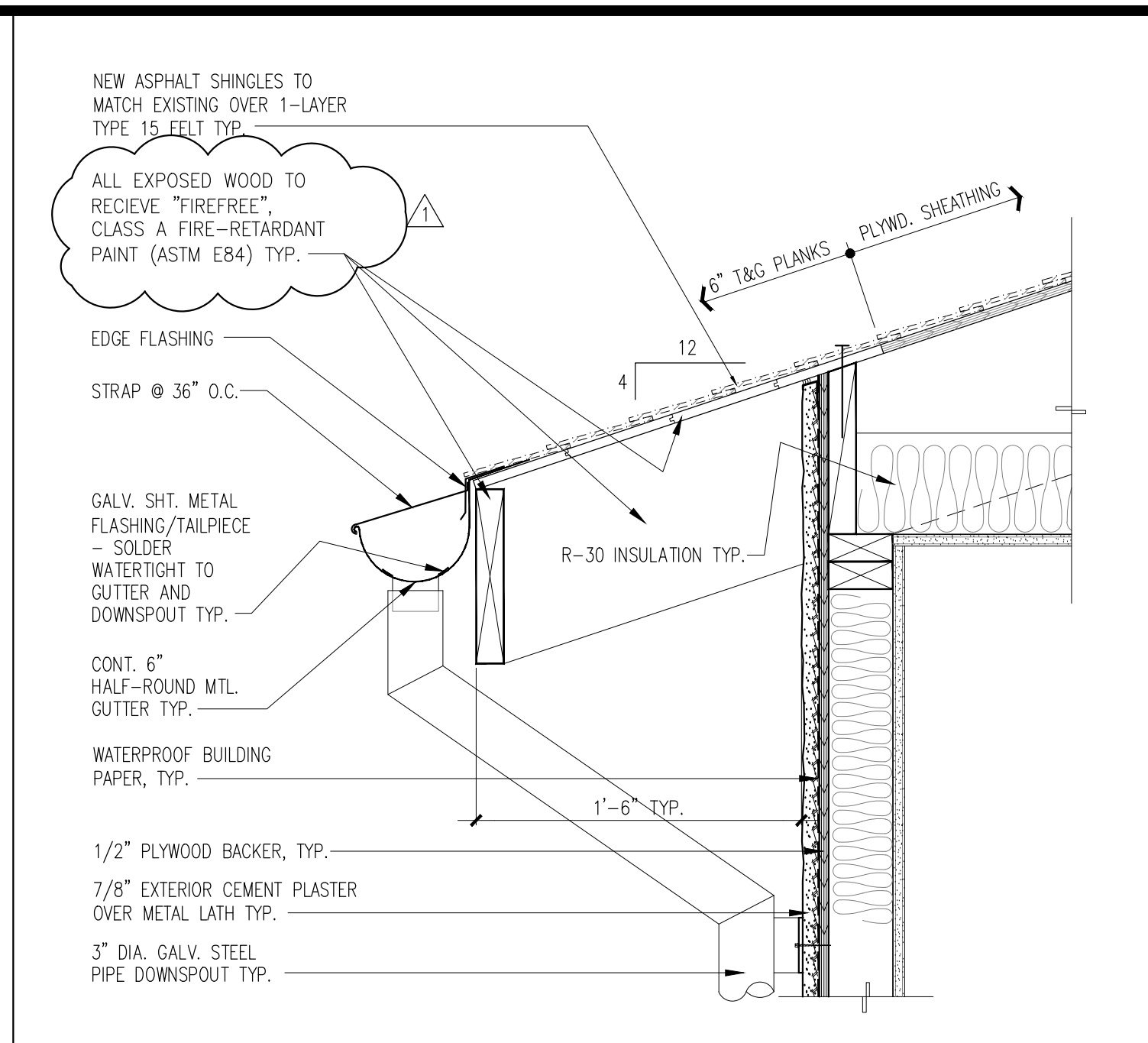
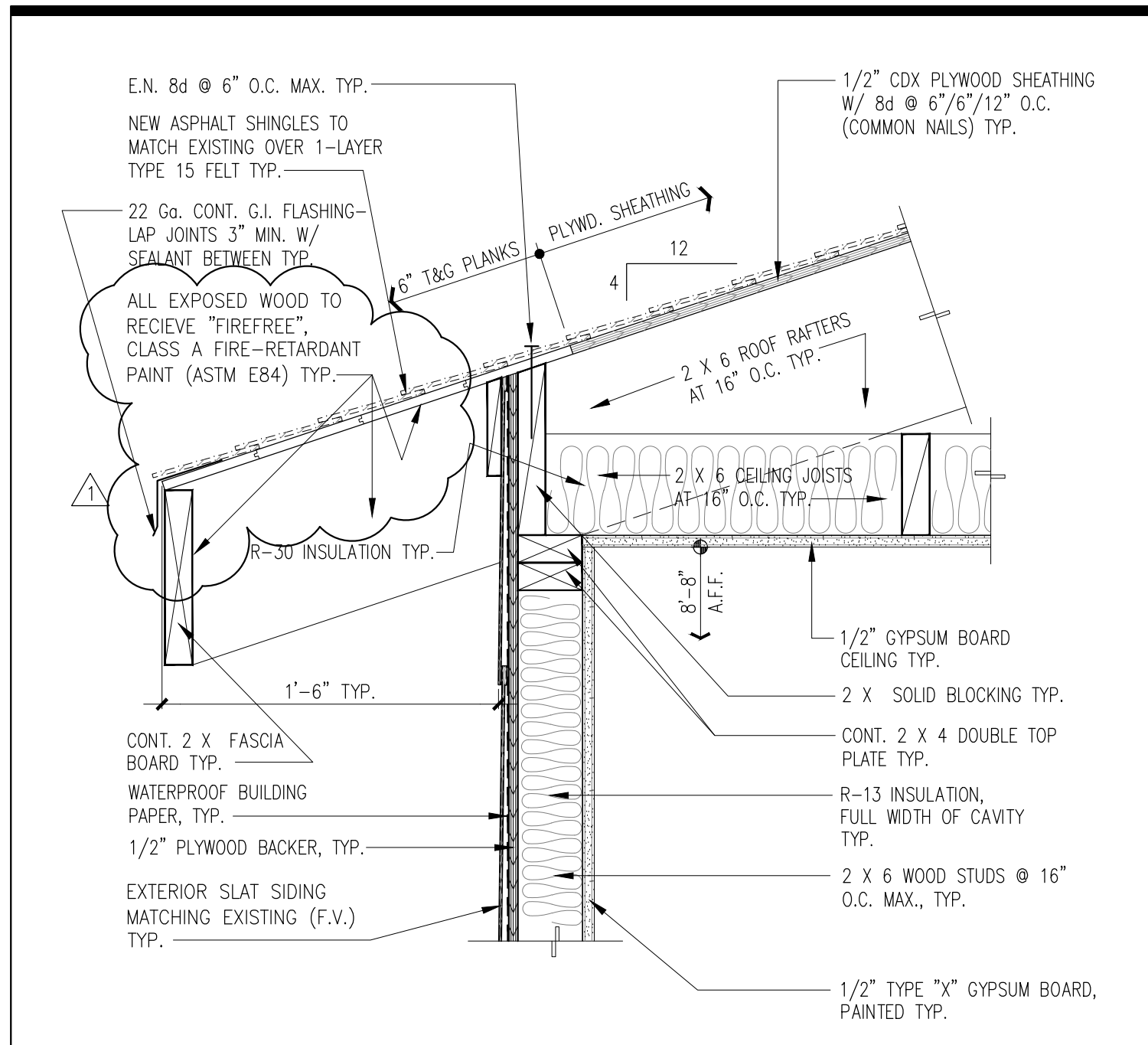
SCALE: 1/8"=1'-0"

Key Plan Legend

- AREA OF WORK, SEE ENLARGED PLANS A, B & C BELOW FOR INFORMATION TYP.
- HATCHED AREA INDICATES EXISTING CONSTRUCTION & FINISHES TO REMAIN (N.I.C.), PATCH AREAS DAMAGES AS A RESULT OF NEW CONSTRUCTION RESTORING SURFACES TO THERE ORIGINAL CONDITION TYP.
- NEW WINDOW, FRAME & RELATED HARDWARE (MATCH EXISTING) TYP.
- EXISTING WINDOW TO BE REPLACED, EXISTING OPENING & FRAME TO REMAIN. FIELD VERIFY ACTUAL OPENING SIZE PRIOR TO FABRICATION (MATCH EXISTING) TYP.





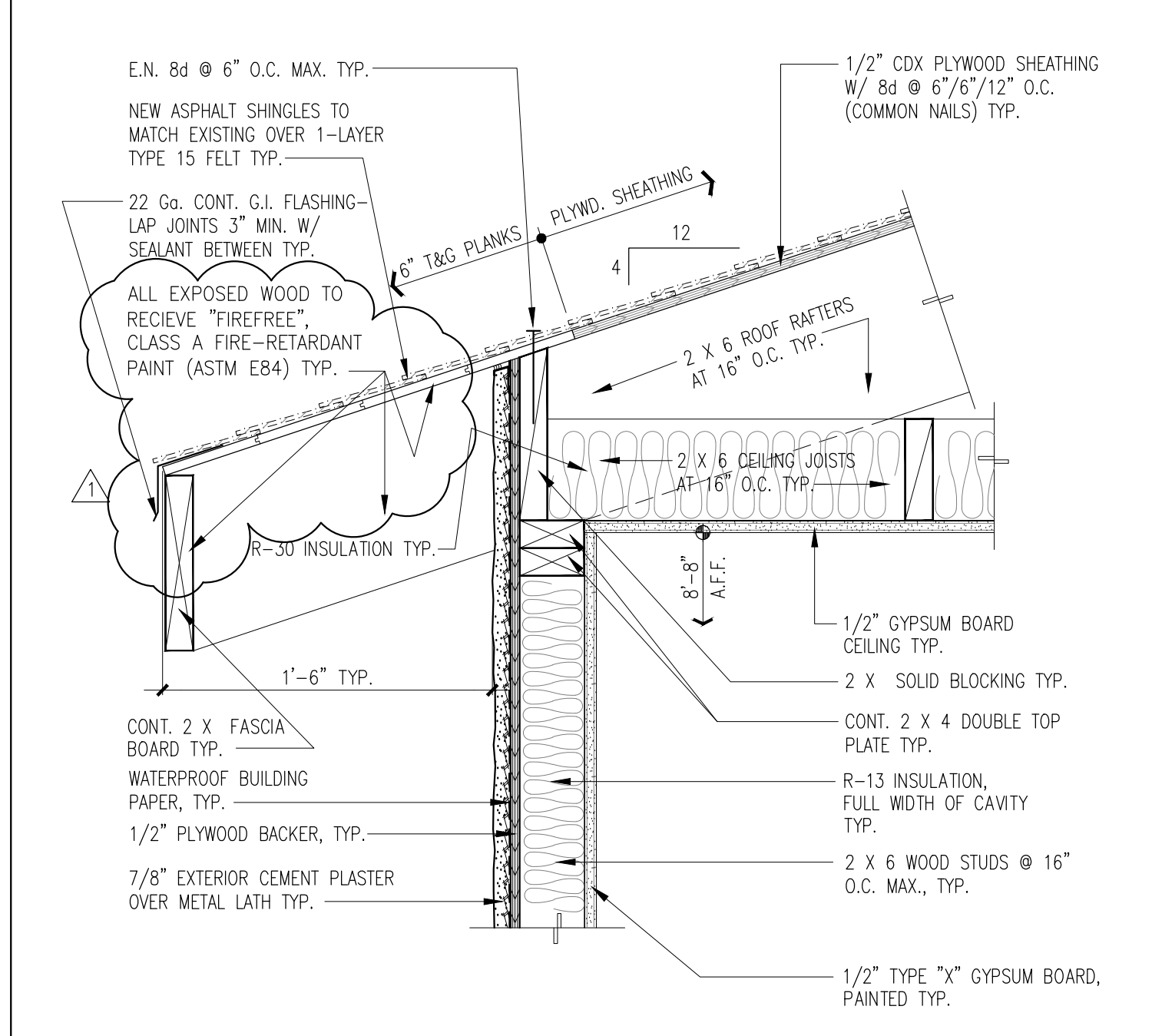


TYPICAL CORNICE DETAIL (WD. SIDING)	SCALE: 1 1/2"=1'-0"	7
-------------------------------------	---------------------	---

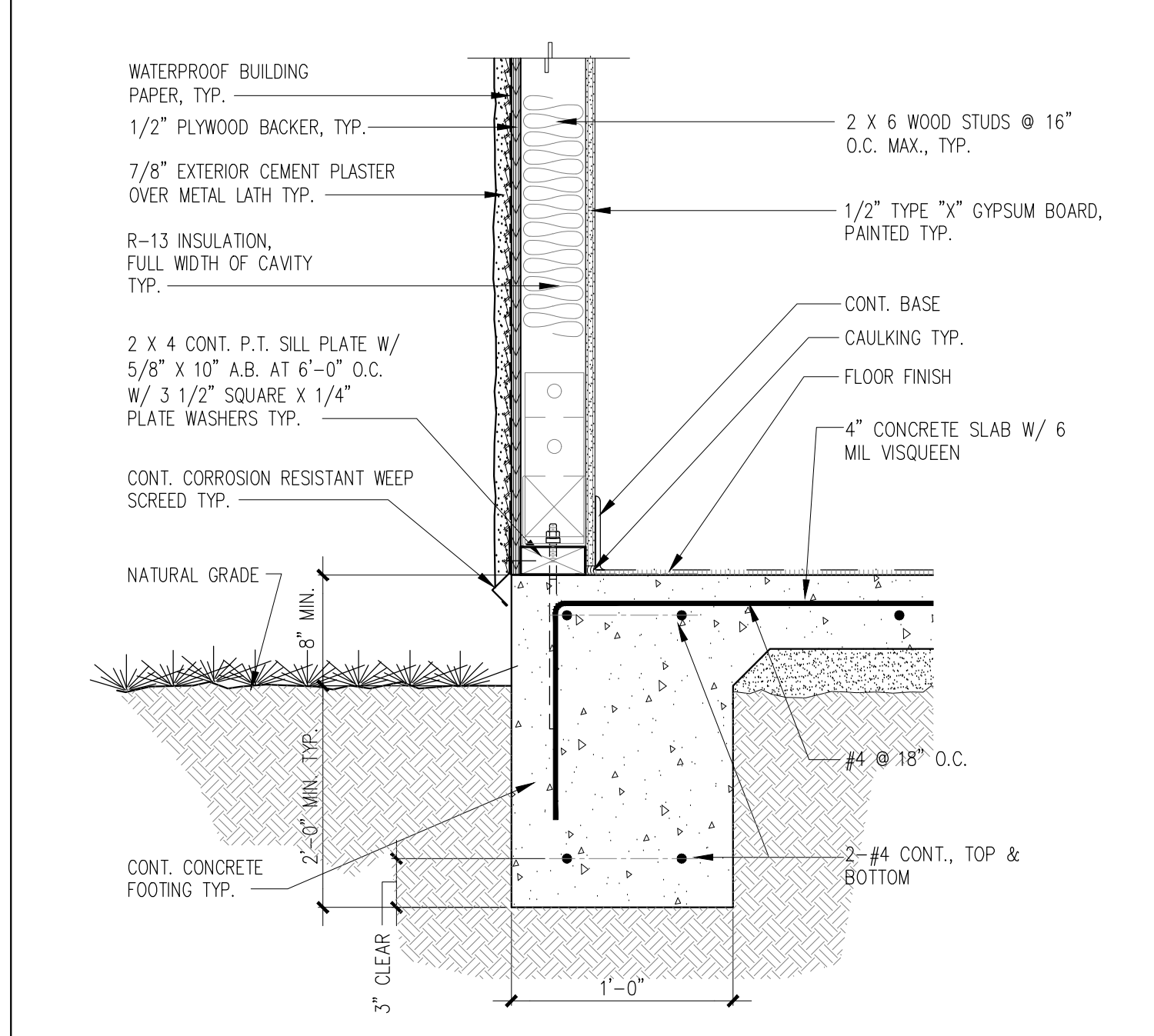
GUTTER & DOWNSPOUT DETAIL	SCALE: 1 1/2"=1'-0"	4
---------------------------	---------------------	---

PIPE FLASHING DETAIL	SCALE: 3"=1'-0"	3
----------------------	-----------------	---

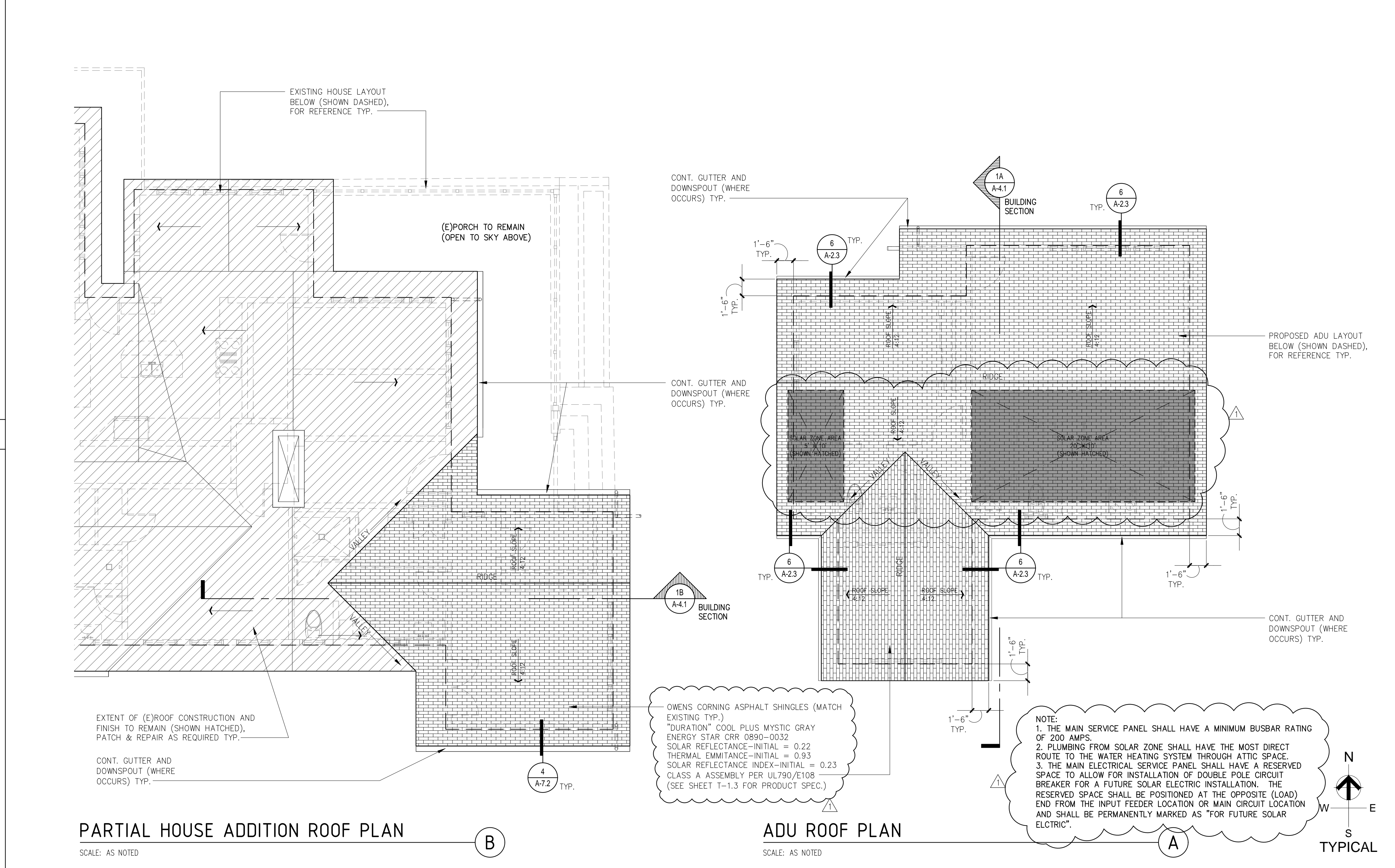
RIDGE DETAIL	SCALE: 1 1/2"=1'-0"	2
--------------	---------------------	---



TYPICAL CORNICE DETAIL	SCALE: 1 1/2"=1'-0"	6
------------------------	---------------------	---



PERIMETER FOOTING DETAIL	SCALE: 1 1/2"=1'-0"	5
--------------------------	---------------------	---



PROPOSED ROOF CONSTRUCTION PLANS	SCALE: 3/16"=1'-0"	1
----------------------------------	--------------------	---

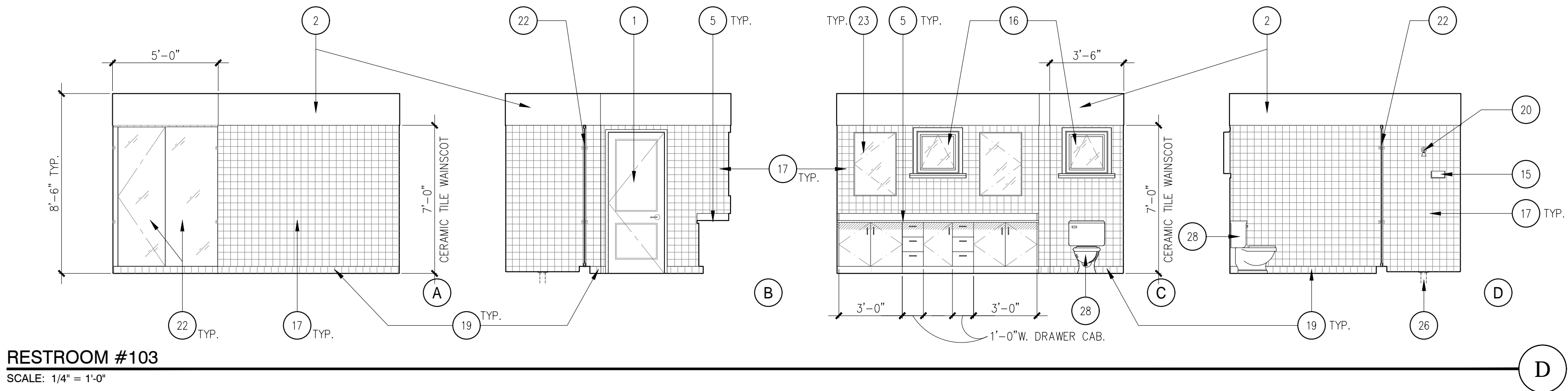


NOTES:

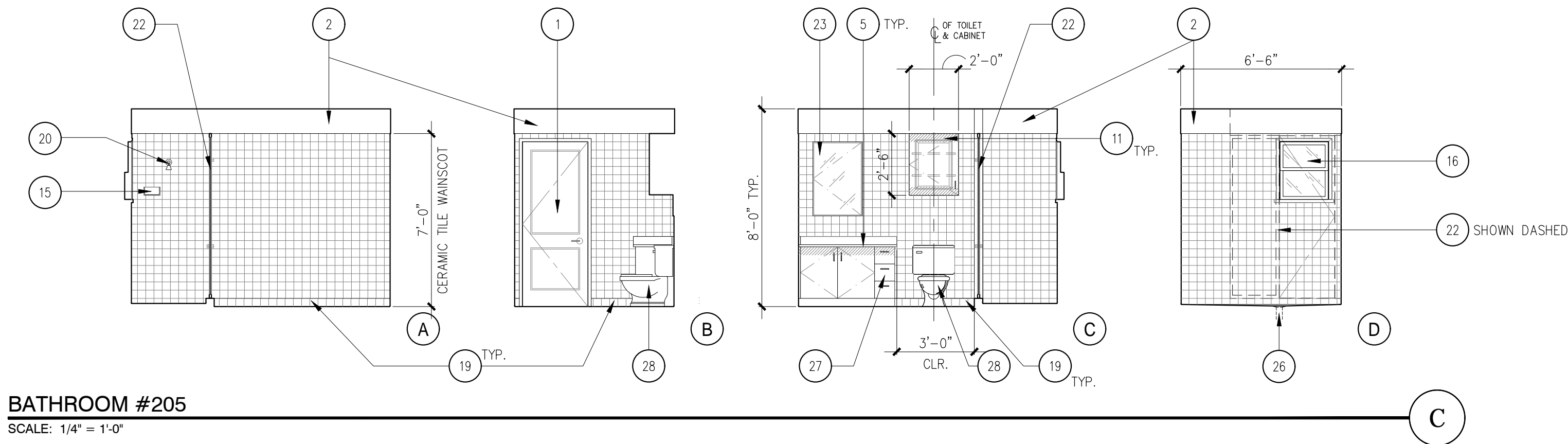
1. ALL FINISHES ARE NEW (U.N.O.), TYP.
2. WHERE ITEMS OR SURFACES ARE NOT SPECIFICALLY MENTIONED, PAINT THE SAME AS SIMILAR ADJACENT MATERIALS OR AREAS.
3. ALL SURFACES SHALL BE IN PROPER CONDITION TO RECEIVE FINISH. IT IS IMPERATIVE THAT ALL SANDING, SCRAPING, FILLING, BRUSHING AND CLEANING TO BE DONE TO ASSURE FINISH ACCEPTABLE TO THE OWNER. FILL HOLES IN WOOD TO RECEIVE PAINTED FINISH.
4. DO NOT PAINT FACTORY FINISHED ITEMS UNLESS SPECIFICALLY DIRECTED.

INTERIOR ELEVATION KEY

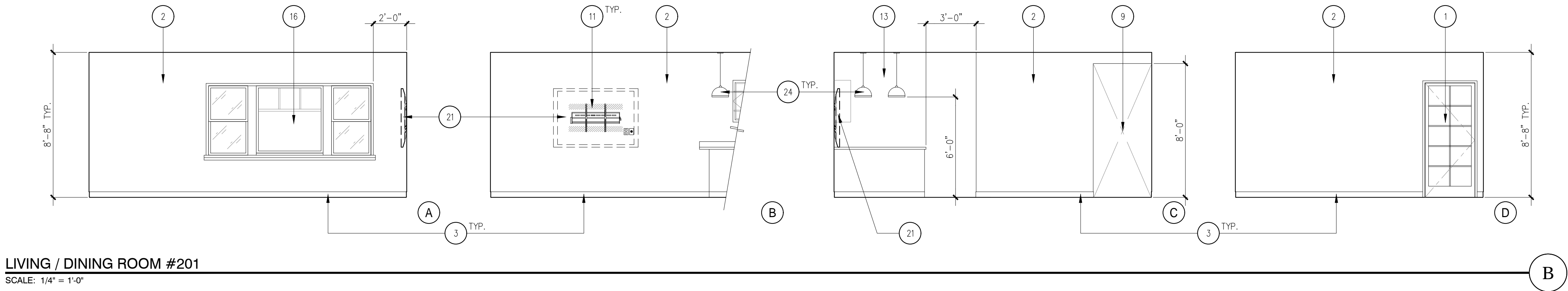
- |    |   |    |  |
|----|---|----|--|
| 1  | DOOR AS SCHEDULED.  | 15 | RECESSED CERAMIC SOAP TRAY.                                |
| 2  | 5/8" TYPE "X" GYP. BOARD (W.R. @ WET AREAS), FINISHED AS SCHEDULED TYP. | 16 | NEW WINDOW AND FRAME AS SCHEDULED (PAINTED) TYP.           |
| 3  | BASE AS SCHEDULED.  | 17 | CERAMIC TILE FINISH TYP.                                   |
| 4  | FALSE DRAWER FRONT (FIXED).   | 18 | REFRIGERATOR LOCATION (N.I.C.).                            |
| 5  | SOLID SURFACE COUNTER, SPLASH & EDGE TYP., SEE FINISHES SCHEDULE.       | 19 | 6" HIGH CERMIC TILE COVERED BASE TYP.                      |
| 6  | SINK AS SCHEDULED TYP.  | 20 | SHOWER HEAD LOCATION TYP.                                  |
| 7  | OVERHEAD STORAGE CABINETS W/ ADJUSTABLE SHELVING TYP.                   | 21 | LCD MONITOR ON WALL MOUNTED BRACKET, TYP. (MONITOR N.I.C.) |
| 8  | FINISHED END PANEL TYP. (AT ALL EXPOSED CABINET SURFACES).              | 22 | TEMPERED GLASS SHOWER DOOR AND PARTITION TYP.              |
| 9  | OPEN TO HALLWAY #207.   | 23 | RECESSED MEDICINE CABINET W/ MIRROR TYP.                   |
| 10 | BASE CABINET W/ DRAWERS AND ADJUSTABLE SHELVING (STYLE & FIN. TBD) TYP. | 24 | PENDANT LIGHT FIXTURE TYP.                                 |
| 11 | HATCHED AREA INDICATES WOOD BACKING, SEE DETAIL 3/A-7.1 FOR INFO.       | 25 | SOLID SURFACE COUNTER TOP WITH RADIUSUED EDGE TYP.         |
| 12 | OPEN TO LIVING / DINING RM. #201  | 26 | SHOWER DRAIN (SHOWN DASHED) TYP.                           |
| 13 | OPEN TO KITCHEN #202.   | 27 | DRAWER CABINET TYP.  |
| 14 | BELOW COUNTER TRASH COMPACTOR LOCATION.                                 | 28 | TOILET LOCATION TYP.                                       |
|    |   | 29 | DISHWASHER LOCATION  |
|    |   | 30 | RANGE AND VENTLESS OVERHEAD EXHAUST HOOD TYP.              |



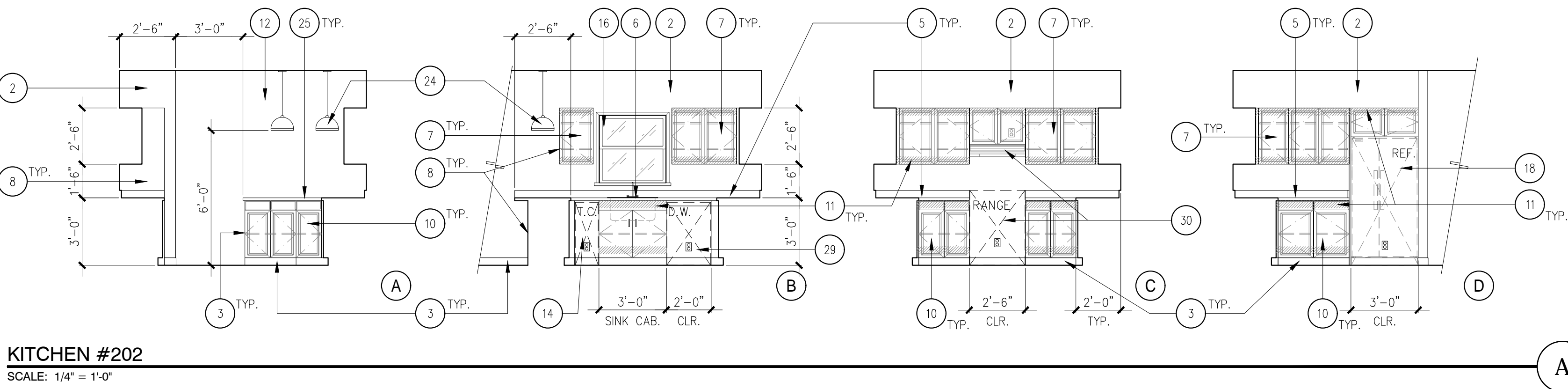
RESTROOM #103  
SCALE: 1/4" = 1'-0"



BATHROOM #205  
SCALE: 1/4" = 1'-0"



LIVING / DINING ROOM #201  
SCALE: 1/4" = 1'-0"

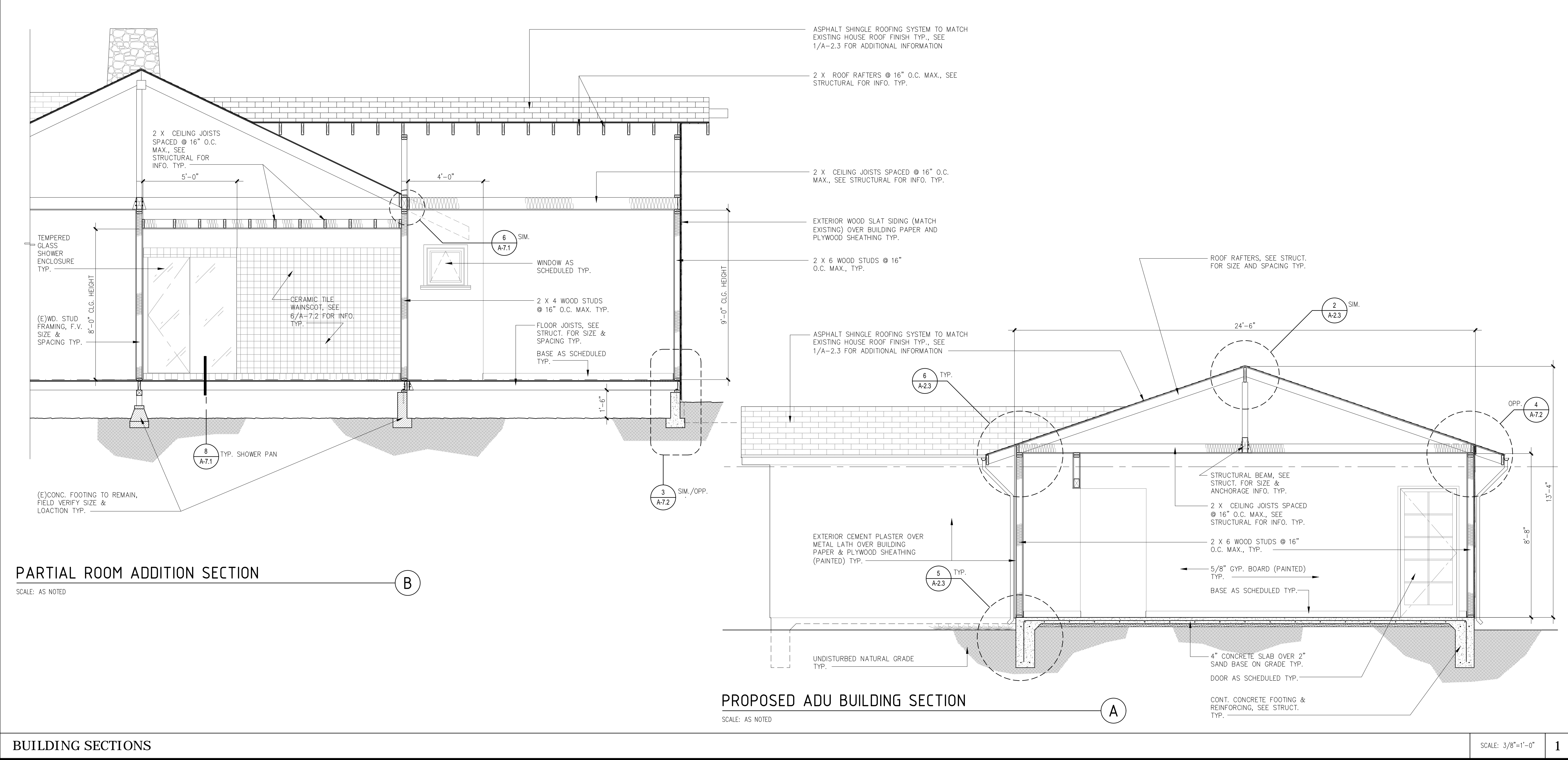
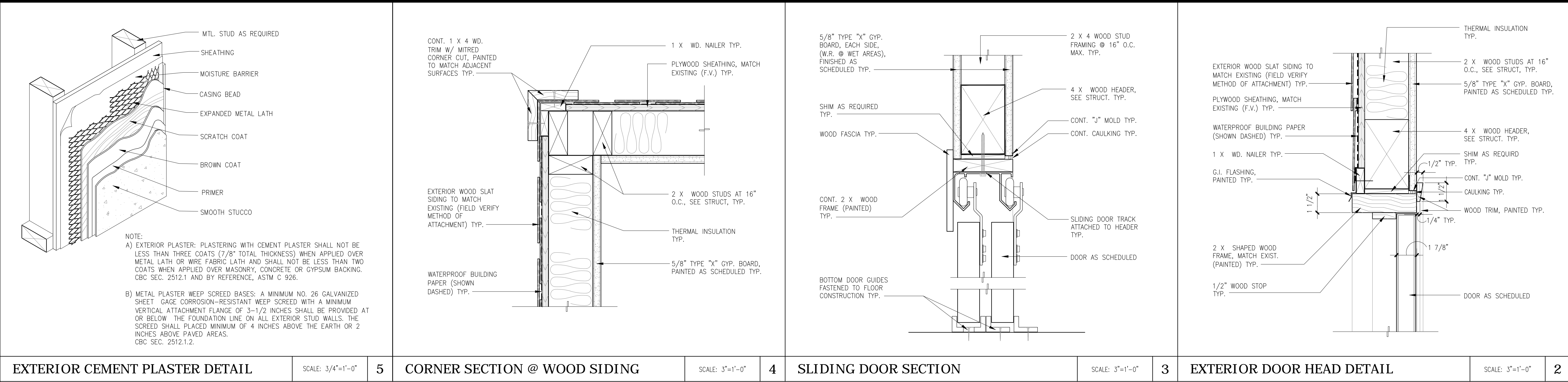


KITCHEN #202  
SCALE: 1/4" = 1'-0"









NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/ FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND GIVE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CONFIRM. DO NOT SCALE DRAWING.

ARCHITECTURE . ENGINEERING

406 PASADENA AVE., SUITE 6, PASADENA, CA 91105

OFFICE : 626-381-9677    INFO@BOLADARCK.COM

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

BUILDING SECTIONS & DETAILS

Revisions :

Date :

Plan Check Submittal -

Back Check 1 03/03/2025

Designer : JPB

Manager : -

Date : 02/22/2025

Job No : -

Drawing No :

A-4.1

BOLADarck Design + N. Battle A.I.A. Architect, Inc.

SCALE: 3/8"=1'-0"

1



FLOORS

F0

VINYL PLANK FLOORING  
FINISH TO BE DETERMINED BY OWNER.

F1

FLOOR TILE – 12" X 12" X 3/8" BORDER QUARRY NATURAL TILE  
COLOR: TO BE DETERMINED BY OWNER  
GROUT: CUSTOM BUILDING PRODUCTS, COLOR: GREY  
WATERPROOFING: ROLLOUT TYPE, WATERPROOFING MEMBRANE NOBLESEAL OR EQUAL, COVE UP WALL BEHIND 6" BASE TILE TYP.

F2

FLOOR TILE – 4" X 4" X 3/8" FIELD SLATE TILE  
COLOR: TO BE DETERMINED BY OWNER  
GROUT: CUSTOM BUILDING PRODUCTS, COLOR: GREY  
WATERPROOFING: ROLLOUT TYPE, WATERPROOFING MEMBRANE NOBLESEAL OR EQUAL TYP.

F3

FLOOR TILE – 4" X 4" X 3/8" GLAZED CERAMIC TILE  
COLOR: TO BE DETERMINED BY OWNER  
GROUT: CUSTOM BUILDING PRODUCTS, COLOR: GREY  
WATERPROOFING: ROLLOUT TYPE, WATERPROOFING MEMBRANE NOBLESEAL OR EQUAL TYP.

F4

CONCRETE SEALER  
FINISH: SEMI-GLOSS  
PRODUCT: CROMMEUIN OR EQUAL TYP.

WALL

W1

GYPSUM BOARD – 5/8" THICK,  
(WATER RESISTANT AT TOILET ROOM), TYP.

W2

WAINSCOT – 4" X 4" X 1/4" GLAZED CERAMIC WALL TILE +7/-0" A.F.F.  
COLOR: TO BE DETERMINED BY OWNER  
GROUT: CUSTOM BUILDING PRODUCTS  
COLOR: GREY

CEILING

C1

GYPSUM BOARD – 1/2" THICK TYPICAL,  
(WATER RESISTANT AT TOILET ROOM), TYP.

C2

EXPOSED 1 X 6 T & G WOOD PLANK  
ATTACHED TO ROOF JOISTS  
FINISH: DARK STAIN FINISH

C3

6 X 6 DECORATIVE BOX BEAMS @ 2'-0" O.C.  
TYP.  
FINISH: DARK STAIN FINISH

C4

EXTERIOR CEMENT PLASTER OVER METAL LATH  
COLOR: TO BE DETERMINED BY OWNER  
FINISH: MATCH EXISTING TROWEL FINISH

PAINT/COLOR

P0

PAINT  
MANUFACTURER: TBO  
COLOR: VERIFY COLORS WITH OWNER

P1

SEM-GLOSS LATEX ENAMEL  
GYP. BD. : FIRST COAT – PIGMENTED SEALER  
SECOND COAT – VINYL LATEX ENAMEL UNDERCOAT  
THIRD COAT – SEMI-GLOSS LATEX ENAMEL  
COLOR: TO BE DETERMINED BY OWNER

P2

EGGSHELL VINYL LATEX ENAMEL  
WOOD: FIRST COAT – OIL BASE ENAMEL UNDERCOAT  
SECOND & THIRD COATS – EGGSHELL VINYL LATEX ENAMEL

FINISH GENERAL NOTES

1.

ALL FINISHES AND MATERIALS SHALL BE AS INDICATED ON FINISH PLANS, NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR APPROVAL OF THE OWNER.

2.

SUBMIT SAMPLES OF ALL FINISHES, CUT SHEETS AND PRODUCT INFORMATION FOR APPROVAL PRIOR TO INSTALLATION.

3.

INSTALL ALL FINISHES ACCORDING TO MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES.

4.

ALL GRILLES, DIFFUSERS AND ACCESS PANELS SHALL BE PAINTED TO MATCH THE WALL OR CEILING ON WHICH THEY ARE LOCATED, UNLESS OTHERWISE NOTED.

5.

VERIFY EXISTING CONDITIONS AT TRANSITIONS TO EXISTING FLOOR FINISHES, TYP.

6.

ALL PAINTED WALLS, CEILINGS AND SOFFITS SHALL RECEIVE MANUFACTURER'S RECOMMENDED PRIMER COAT TYP.

7.

INTERIOR WALL &amp; CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH SECTION 803.1.1 (2019 CBC) FOR FLAME SPREAD INDEX CLASSIFICATION AND SMOKE DEVELOPMENT INDEX CLASSIFICATION.

8.

INTERIOR WALL AND CEILING FINISH CLASSIFICATION REQUIREMENTS BY OCCUPANCY PER TABLE 803.13 (2019 CBC). FIRE CODE 803

9.

CLOSET ROOM FINISHES SHALL MATCH ADJACENT BEDROOM FINISHES TYP.

DOOR GENERAL NOTES

1.

FIELD-VERIFY ALL DIMENSIONS BEFORE MANUFACTURING DOORS & FRAMES.

2.

EXISTING DOOR AND FRAME DIMENSIONS ON THIS SCHEDULE ARE APPROXIMATE DIMENSIONS. PROVIDE DOOR FRAMES TO FIT EXISTING OPENINGS.

3.

WHERE EXISTING DOOR TRIMS AND/OR FRAMES ARE DAMAGED DURING CONSTRUCTION/INSTALLATION, REPLACE WITH NEW TRIMS AND/OR FRAMES FOLLOWING ORIGINAL DESIGN PROFILE.

4.

GENERAL CONTRACTOR SHALL COORDINATE WITH SUB-TRADES FOR COMPLETE DOOR &amp; HARDWARE INSTALLATION REQUIREMENTS (AS REQUIRED).

ROOM FINISH SCHEDULE

SPACE		FLOOR	BASE	WAINSCOT	WALLS				CEILING	C.C. HEIGHT	REMARKS
NO.	NAME				NORTH	EAST	SOUTH	WEST			
101	BEDROOM	F0	B1	-	W1	W1	W1	W1	C1	+9'-0"	-
102	WALK-IN CLOSET	F0	B1	-	P2	P2	P2	P2	C1	+8'-6"	-
103	RESTROOM	F3	B2	W2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+8'-6"	-
104	HALLWAY	F0	B1	-	P1	P1	P1	P1	C1	+9'-0"	-
201	LIVING / DINING ROOM	F0	B1	-	W1	W1	W1	W1	C1	+8'-8"	-
202	KITCHEN	F0	B1	-	P2	P2	P2	P2	C1	+8'-8"	-
203	BEDROOM	F0	B1	-	W1	W1	W1	W1	C1	+8'-0"	-
204	BEDROOM	F0	B1	-	P2	P2	P2	P2	C1	+8'-0"	-
205	BATHROOM	F3	B2	W2	W1/W2	W1/W2	W1/W2	W1/W2	C1	+8'-0"	-
206	TOILET	F3	B2	W2	P1	P1	P1	P1	C1	+8'-0"	-
207	HALLWAY	F0	B1	-	W1	W1	W1	W1	C1	+8'-0"	-

DOOR / WINDOW SCHEDULE

DOOR NO.	LOCATION	SIZE	DOOR / WINDOW				FRAME		DETAILS			HDMR GROUP	LABEL	RATING	REMARKS
			TYPE	MAT'L	THK	FIN	MAT'L	FIN	HEAD	JAMB	SILL				
101A	BEDROOM	2'-8" X 6'-8"	A	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	3 A-6.2	3 A-6.2	3 A-6.2	-	-	-	-
101B	BEDROOM	5'-0" PR. X 6'-8"	E	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	2 A-4.1	2 A-4.1	2 A-6.2	-	-	-	-
102A	WALK-IN CLOSET	2'-8" X 6'-8"	A	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	3 A-6.2	3 A-6.2	3 A-6.2	-	-	-	-
103A	RESTROOM	2'-8" X 6'-8"	A	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	4 A-6.2	4 A-6.2	4 A-6.2	-	-	-	-
104A	HALLWAY	3'-0" PR. X 6'-8"	F	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	3 A-6.2	3 A-6.2	3 A-6.2	-	-	-	CLOSET SHALL HAVE FULL DEPTH ADJUSTABLE SHELVING (FULL HEIGHT)
201A	LIVING / DINING ROOM	3'-0" X 6'-8"	D	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	2 A-4.1	2 A-4.1	2 A-6.2	-	-	-	-
203A	BEDROOM	2'-8" X 6'-8"	A	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	3 A-6.2	3 A-6.2	3 A-6.2	-	-	-	-
203B	BEDROOM	6'-0" PR. X 6'-8"	G	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	3 A-4.1	3 A-4.1	3 A-4.1	-	-	-	-
204A	BEDROOM	2'-8" X 6'-8"	A	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	3 A-6.2	3 A-6.2	3 A-6.2	-	-	-	-
204B	BEDROOM	6'-0" PR. X 6'-8"	G	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	3 A-4.1	3 A-4.1	3 A-4.1	-	-	-	-
205A	BATHROOM	2'-8" X 6'-8"	A	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	4 A-6.2	4 A-6.2	4 A-6.2	-	-	-	-
206A	TOILET	2'-8" X 6'-8"	A	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	4 A-6.2	4 A-6.2	4 A-6.2	-	-	-	-
207A	WASHER / DRYER ROOM	3'-0" PR. X 6'-8"	C	S.C. WD.	1 3/4"	PAINT	WOOD	PAINT	-	-	-	-	-	-	-
WINDOW NO.															
A	LIVING / DINING	2'-6"W X 4'-0"H	B	WOOD	-	PAINT	WOOD	PAINT	11 A-6.2	9 A-6.2	10 A-6.2				W/ LOW-E GLAZING TYP.
B	LIVING / DINING	5'-0"W X 4'-0"H	B	WOOD	-	PAINT	WOOD	PAINT	11 A-6.2	9 A-6.2	10 A-6.2				FIXED WOOD WINDOW W/ LOW-E GLAZING TYP.
C	BEDROOM	3'-0"W X 4'-6"H	A	WOOD	-	PAINT	WOOD	PAINT	2 A-6.2	2 A-6.2	1 A-6.2				W/ LOW-E GLAZING TYP.
D	RESTROOM	2'-0"W X 2'-0"H	A	WOOD	-	PAINT	WOOD	PAINT	2 A-6.2	2 A-6.2	1 A-6.2				W/ LOW-E GLAZING TYP.
E	KITCHEN	3'-0"W X 3'-0"H	A	WOOD	-	PAINT	WOOD	PAINT	2 A-6.2	2 A-6.2	1 A-6.2				W/ LOW-E GLAZING TYP.
F	RESTROOM / HALLWAY	2'-0"W X 3'-0"H	C	WOOD	-	PAINT	WOOD	PAINT	-	-	-				W/ LOW-E GLAZING TYP.
G	BEDROOM	2'-6"W X 4'-0"H	E	WOOD	-	PAINT	WOOD	PAINT	11 A-6.2	9 A-6.2	10 A-6.2				SIMILAR TO TYPE E (NEW ASSEMBLY) – 9'-6" WIDE X 4'-0"HIGH W/ LOW-E GLAZING TYP.
H	BEDROOM	4'-6"W X 4'-0"H	E	WOOD	-	PAINT	WOOD	PAINT	11 A-6.2	9 A-6.2	10 A-6.2				SIMILAR TO TYPE E (NEW ASSEMBLY) – 9'-6" WIDE X 4'-0"HIGH W/ LOW-E GLAZING TYP.
I	BEDROOM / DINING	MATCH (E), F.V.	D	WOOD	-	PAINT	WOOD	PAINT							WINDOW REPLACEMENT MATCH EXISTING (FIELD VERIFY OPENING PRIOR TO FABRICATION) W/LOW-E GLAZING TYP.
J	BEDROOM	3'-0" PR. X 4'-6"	D	WOOD	-	PAINT	WOOD	PAINT							SIMILAR TO TYPE D (NEW ASSEMBLY), FIELD VERIFY OPENING. W/ LOW-E GLAZING TYP.
K	LIVING ROOM	MATCH (E), F.V.	D	WOOD	-	PAINT	WOOD	PAINT							WINDOW REPLACEMENT MATCH EXISTING (FIELD VERIFY OPENING PRIOR TO FABRICATION) W/LOW-E GLAZING TYP.
L	LIVING ROOM	MATCH (E), F.V.	D	WOOD	-	PAINT	WOOD	PAINT							WINDOW REPLACEMENT MATCH EXISTING (FIELD VERIFY OPENING PRIOR TO FABRICATION) W/LOW-E GLAZING TYP.

DOOR TYPES

S.C. WOOD

6'-8"

LOUVER W/  
INSECT SCREEN  
TYP.

6'-8"

VISION GLASS  
TYP.

6'-8"

6'-8"

SEE SCHEDULE

6'-8"

SEE SCHEDULE

6'-8"

SEE SCHEDULE

6'-8"

TYPE A

SOLID CORE WOOD  
-PAINT GRADE

TYPE B

HOLLOW METAL  
-PRIMED FOR PAINTING

TYPE C

SOLID CORE BI-FOLD  
-PAINT GRADE

TYPE D

SOLID CORE WOOD  
-PAINT GRADE

TYPE E

DOUBLE SOLID CORE WOOD W/ VISION  
GLASS TYP.  
-PAINT GRADE

TYPE F

DOUBLE SOLID CORE WOOD  
-PAINT GRADE

TYPE G

DOUBLE SLIDING S.C. WOOD  
-PAINT GRADE

WINDOW TYPES

SEE SCHED.

6'-8"

WOOD WINDOW  
ASSEMBLY TYP.

LOW-E GLAZING

FINISHED FLOOR

10'-0"

2'-6"

2'-6"

4'-0"

6'-8"

DBL. HUNG

FIXED

DBL. HUNG

SEE SCHED.

6'-8"

WOOD WINDOW  
ASSEMBLY TYP.

LOW-E GLAZING

FINISHED FLOOR

44" A.F.F. MAX.

44" A.F.F. MAX.

TYPE A

WOOD FRAMED – DOUBLE HUNG  
-PAINTED TYP.

TYPE B

WOOD FRAMED – DOUBLE HUNG / FIXED  
-PAINTED TYP.

TYPE C

WOOD FRAMED – CASEMENT  
-PAINTED TYP.

FIELD VERIFY

MATCH (E)

MATCH (E)

TYPE D

WOOD FRAMED – CASEMENT  
-WINDOW REPLACEMENT  
\*(E)FRAME CONST. TO REMAIN  
-PAINTED TYP.

FIELD VERIFY

MATCH (E)

MATCH (E)

TYPE E

WOOD FRAMED – CASEMENT / FIXED  
-WINDOW REPLACEMENT  
\*(E)FRAME CONST. TO REMAIN  
-PAINTED TYP.

NOTE: DRAWINGS ARE INTENDED TO CONVEY DESIGN INTENT ONLY. CONTRACTORS AND/OR FABRICATOR IS SOLE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR STRUCTURAL INTEGRITY AND PERFORMANCE OF ALL ELEMENTS. CONTRACTOR/ FABRICATOR IS SOLE RESPONSIBLE FOR COORDINATING AND VERIFYING ALL DIMENSIONS. CONTRACTOR/ FABRICATOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND GIVE THE ARCHITECT 14 WORKING DAYS TO REVIEW AND CONFIRM. DO NOT SCALE DRAWING.

ARCHITECTURE . ENGINEERING

406 PASADENA AVE., SUITE 6, PASADENA, CA 91105  
OFFICE : 626-381-9677 INFO@BOLADARCK.COM

Notice : The design shown and described herein including all technical, graphics, and models thereof, are proprietary and cannot be copied, duplicated or commercially exploited, in whole or in part, without express written permission of The BOLADarck Design Corp. These are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors and office personnel only in accordance with this notice.

PROJECT NAME & SITE ADDRESS:

ABRAHAMIAN RESIDENCE  
8040 W. MCGROARTY STREET  
SUNLAND, CA 91040

Drawing Content :

DOOR & FINISHES  
SCHEDULE & DETAILS

Revisions :      Date :

Plan Check Submittal

-

Back Check 1

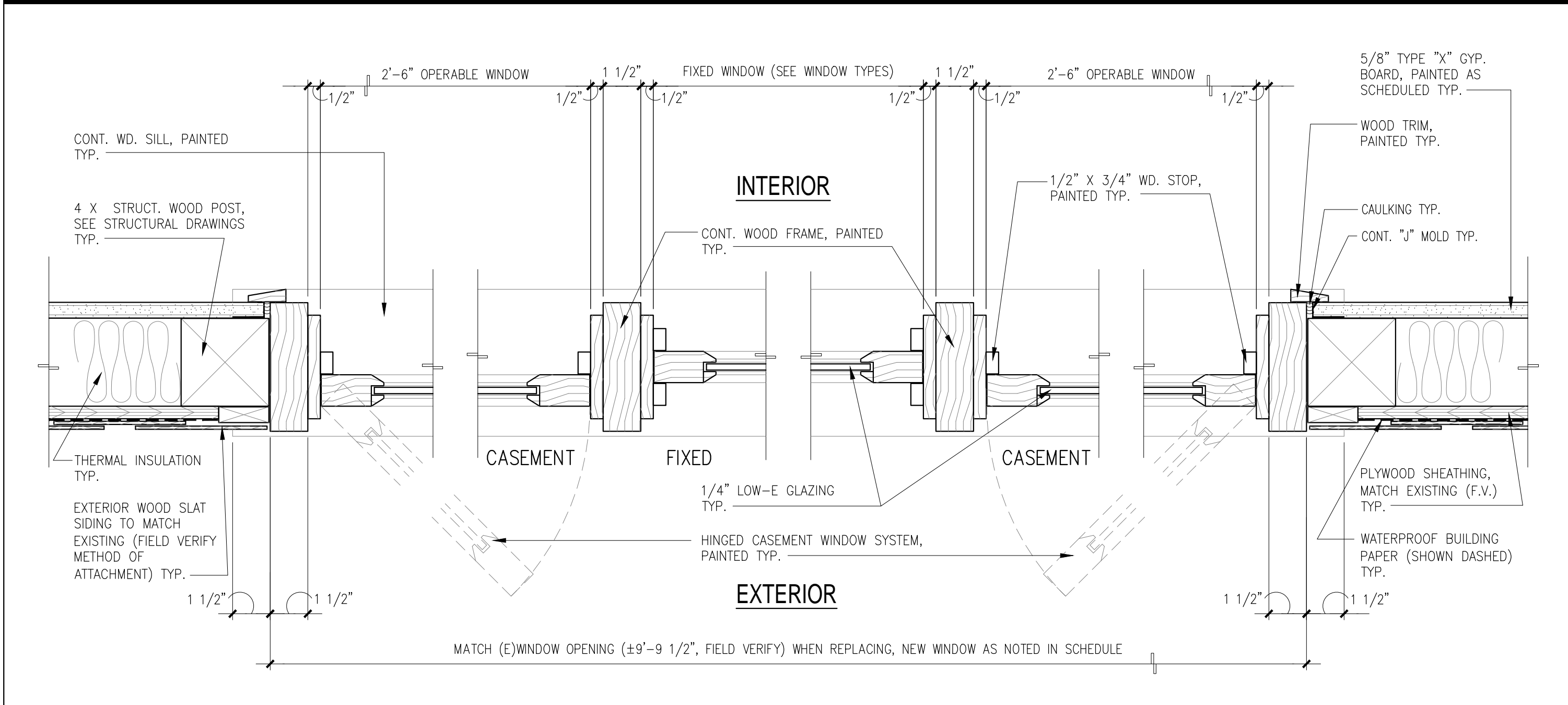
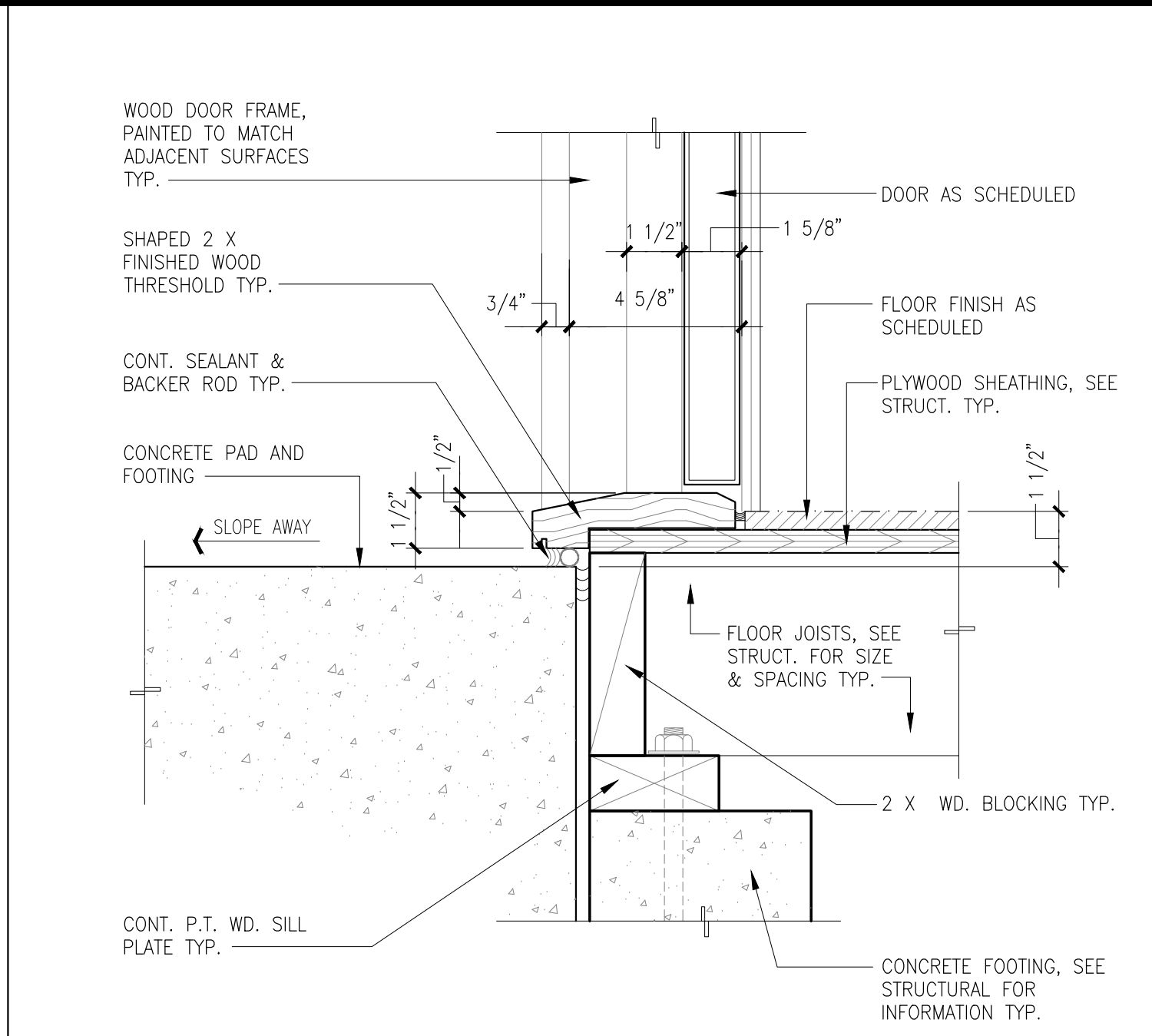
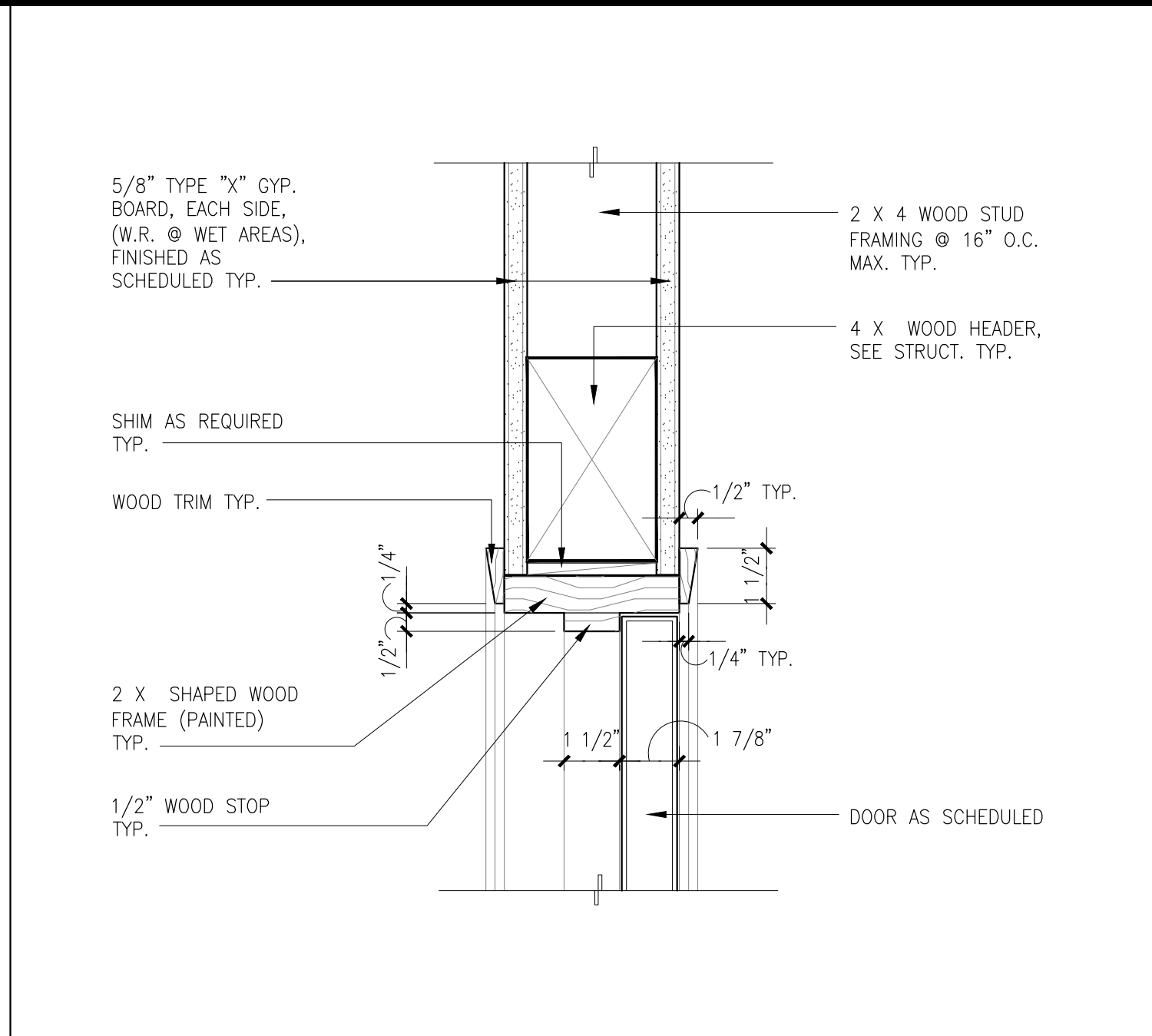
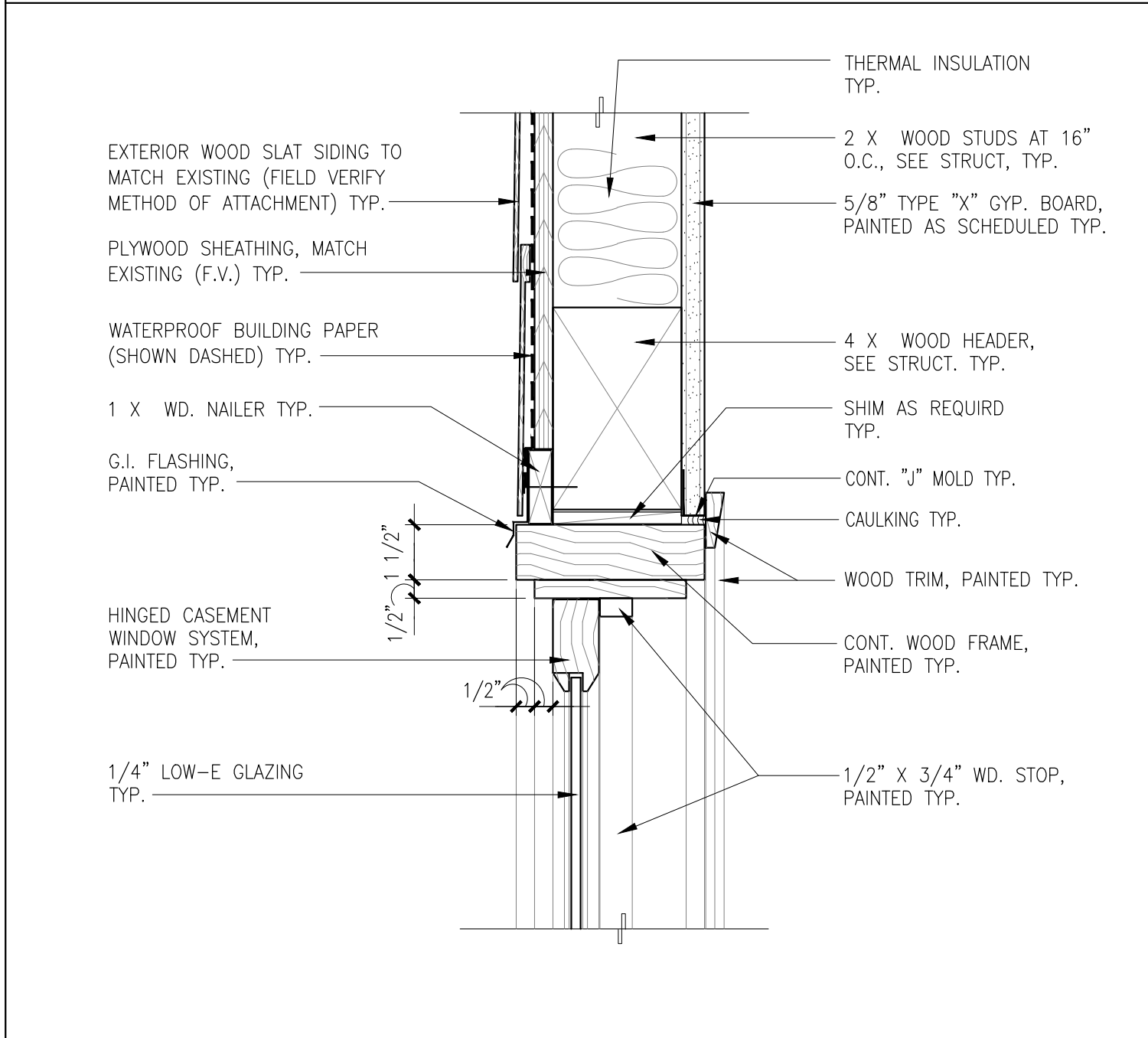
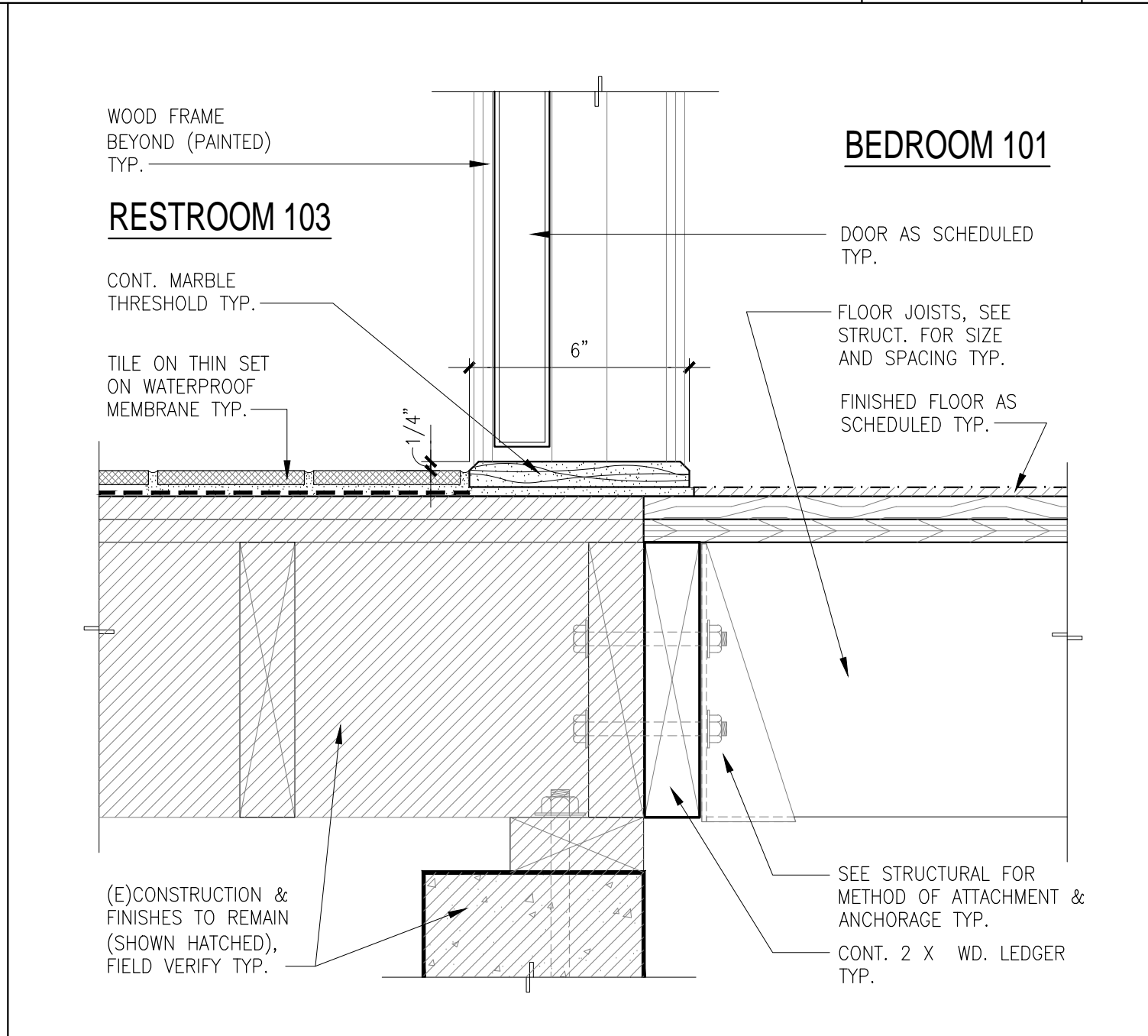
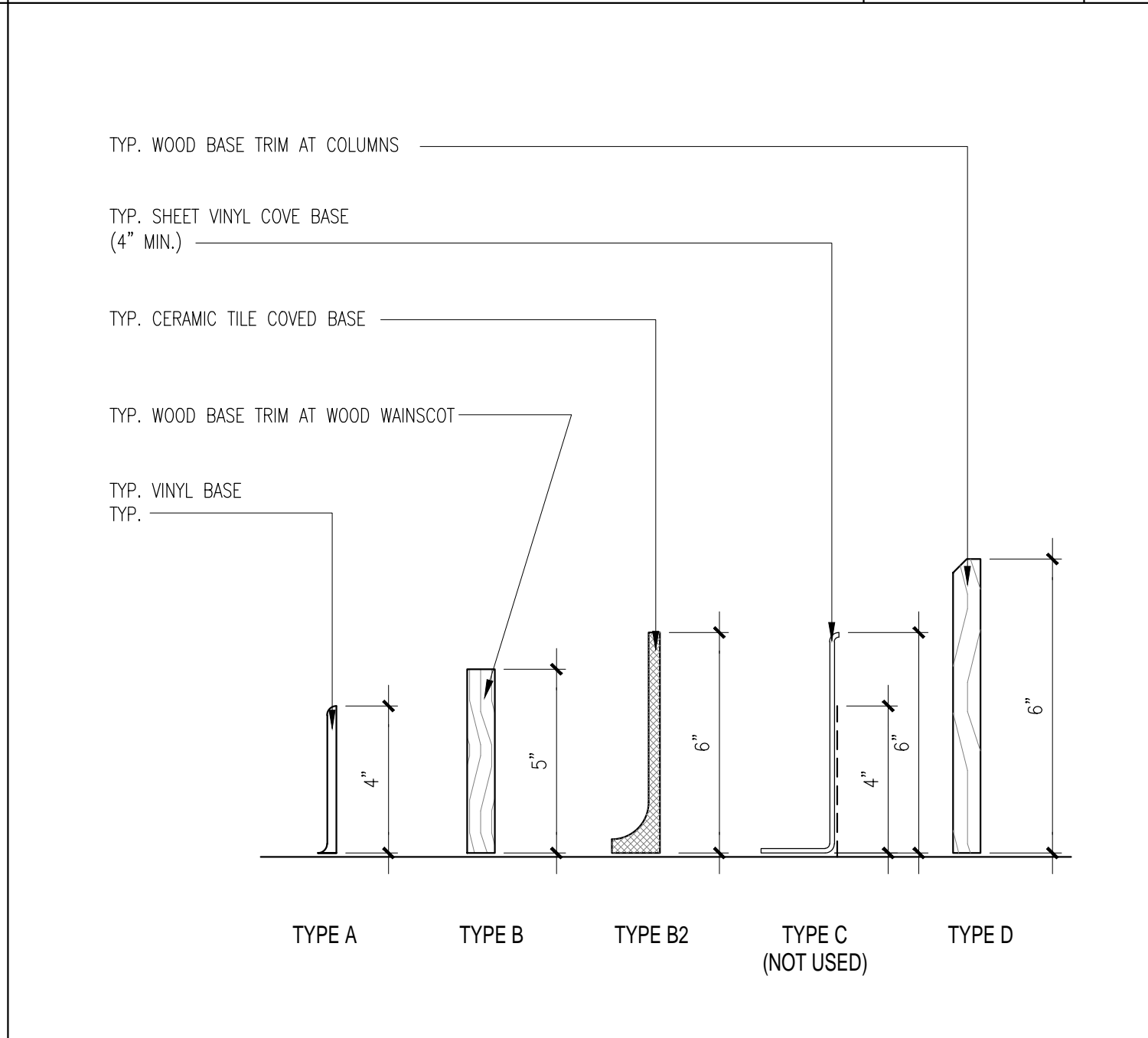
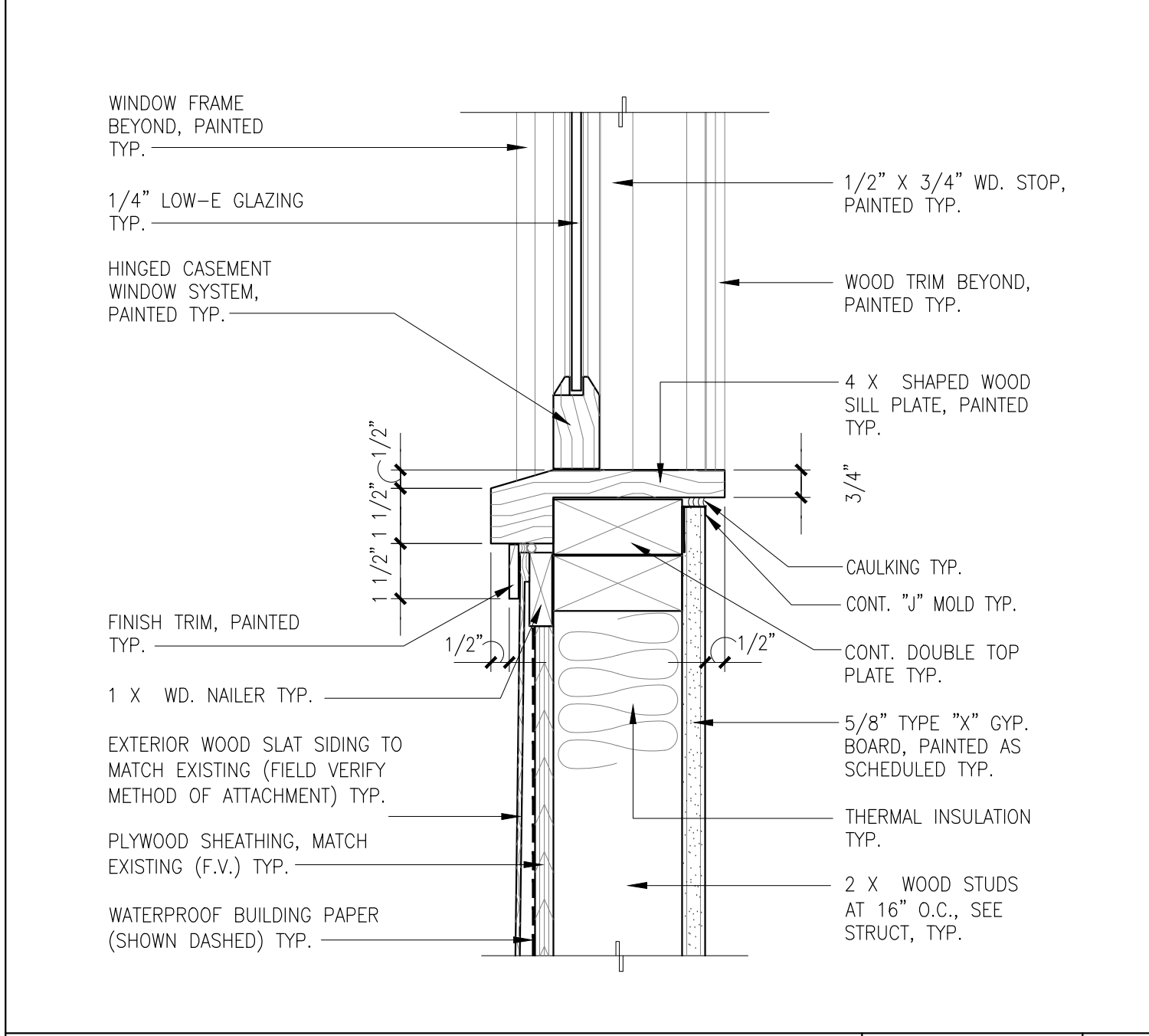
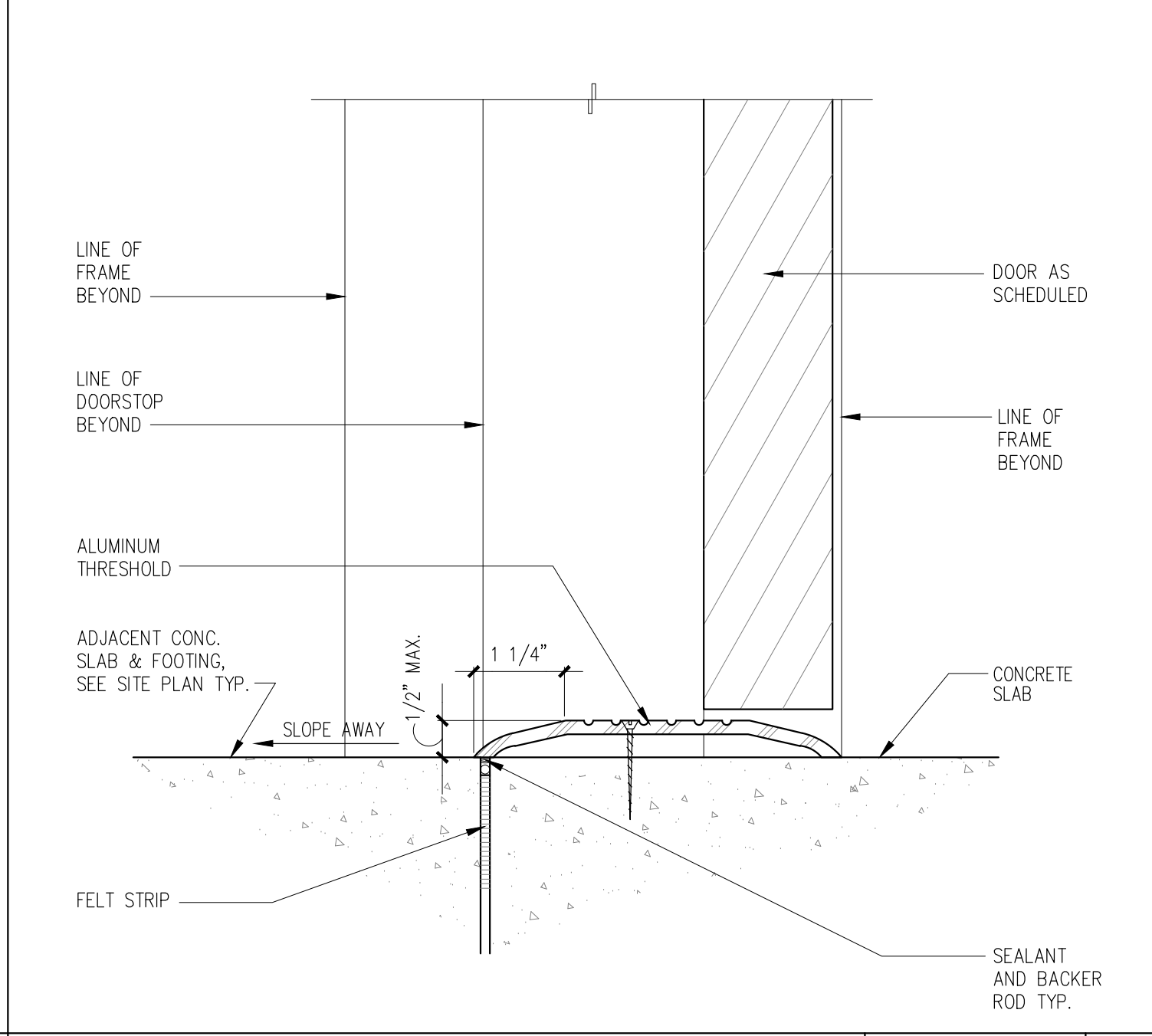
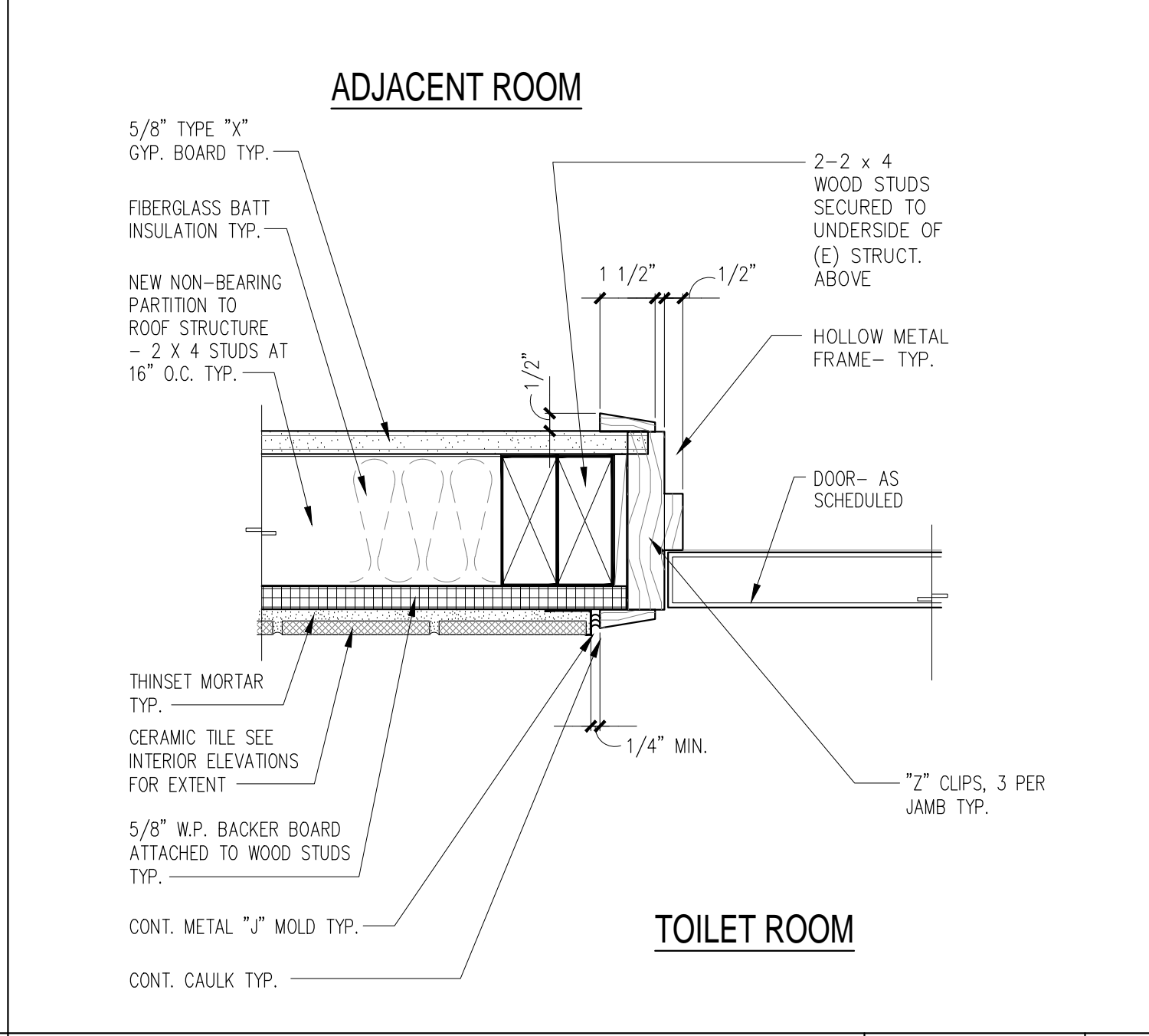
03/03/2025

Designer : JPB  
Manager : -  
Date : 02/22/2025  
Job No : -

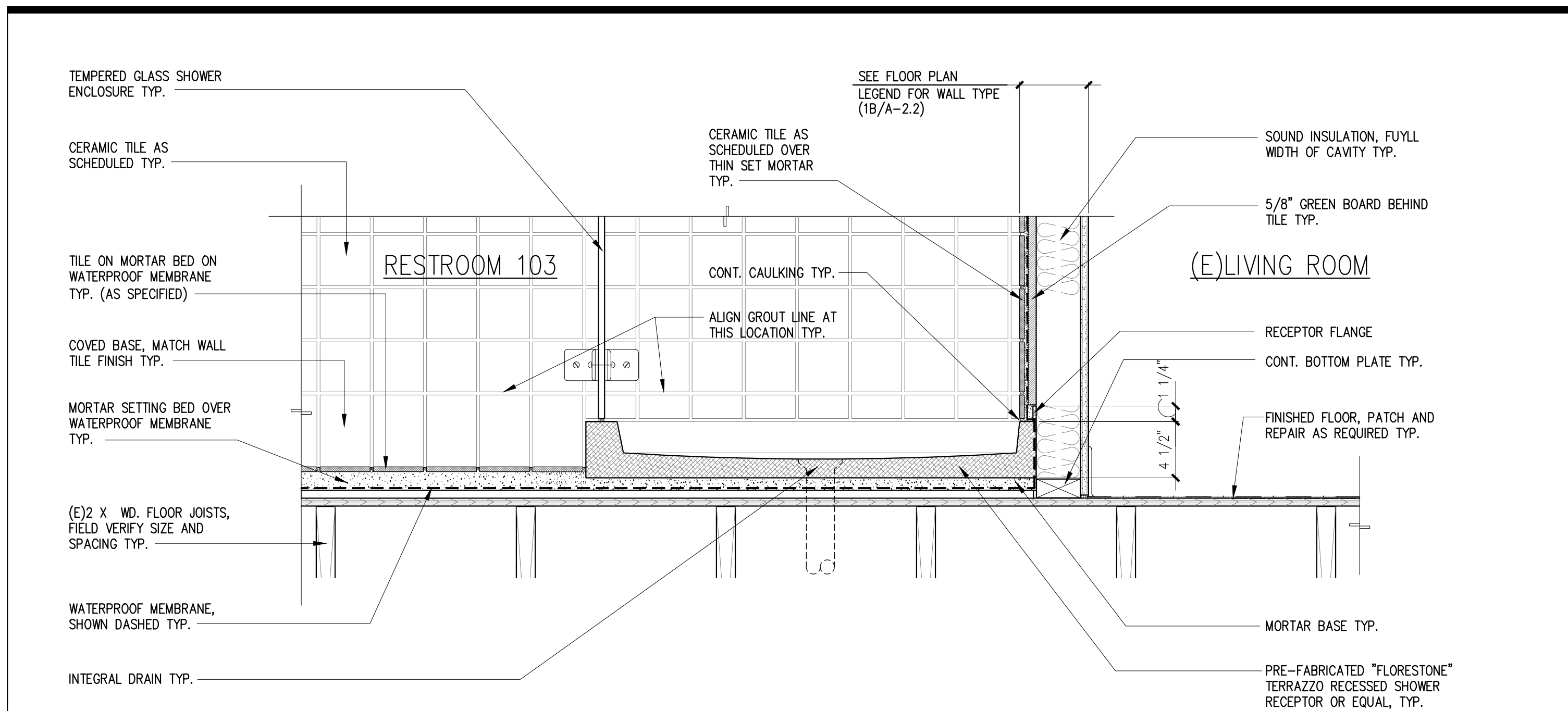
Drawing No :

A-6.1

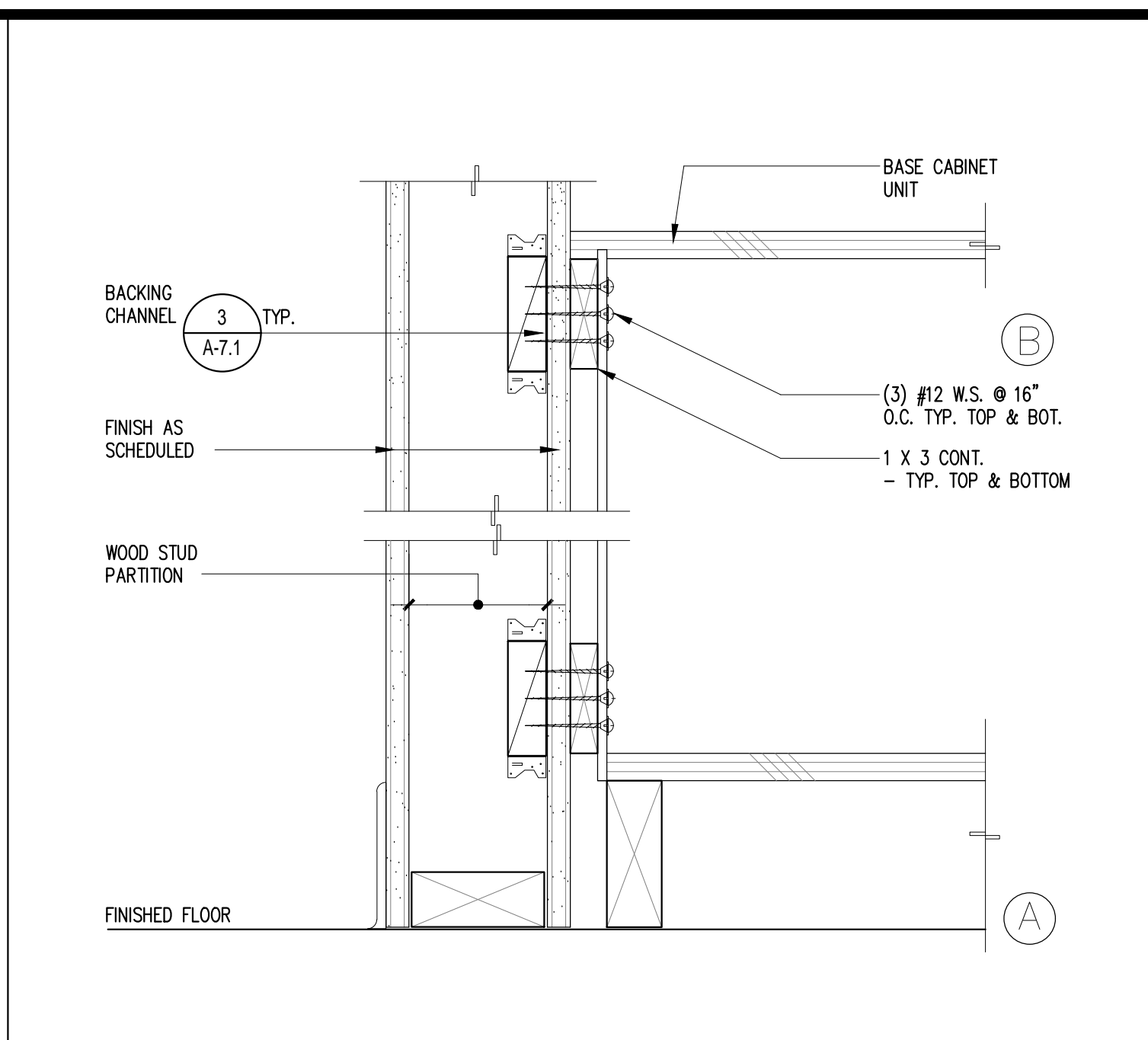


								
SECTION THRU LARGE WONDOW SYSTEM			EXTERIOR DOOR SILL			TYPICAL INTERIOR DOOR HEAD		
SCALE: 3"=1'-0"			SCALE: 3"=1'-0"			SCALE: 3"=1'-0"		
9			6			3		
								
WINDOW HEAD DETAIL			BEDROOM 101 RESTROOM 103			TYPICAL BASE TRIM		
SCALE: 3"=1'-0"			SCALE: 3"=1'-0"			SCALE: 3"=1'-0"		
11			8			5		
								
WINDOW SILL DETAIL			THRESHOLD @ ENTRY DETAIL			TYP. DOOR JAMB @ TOILET (HEAD SIMILAR)		
SCALE: 3"=1'-0"			SCALE: 3"=1'-0"			SCALE: 3"=1'-0"		
10			7			4		
WINDOW SILL DETAIL			WINDOW SILL DETAIL			WINDOW SILL DETAIL		
SCALE: 3"=1'-0"			SCALE: 3"=1'-0"			SCALE: 3"=1'-0"		
1			1			1		

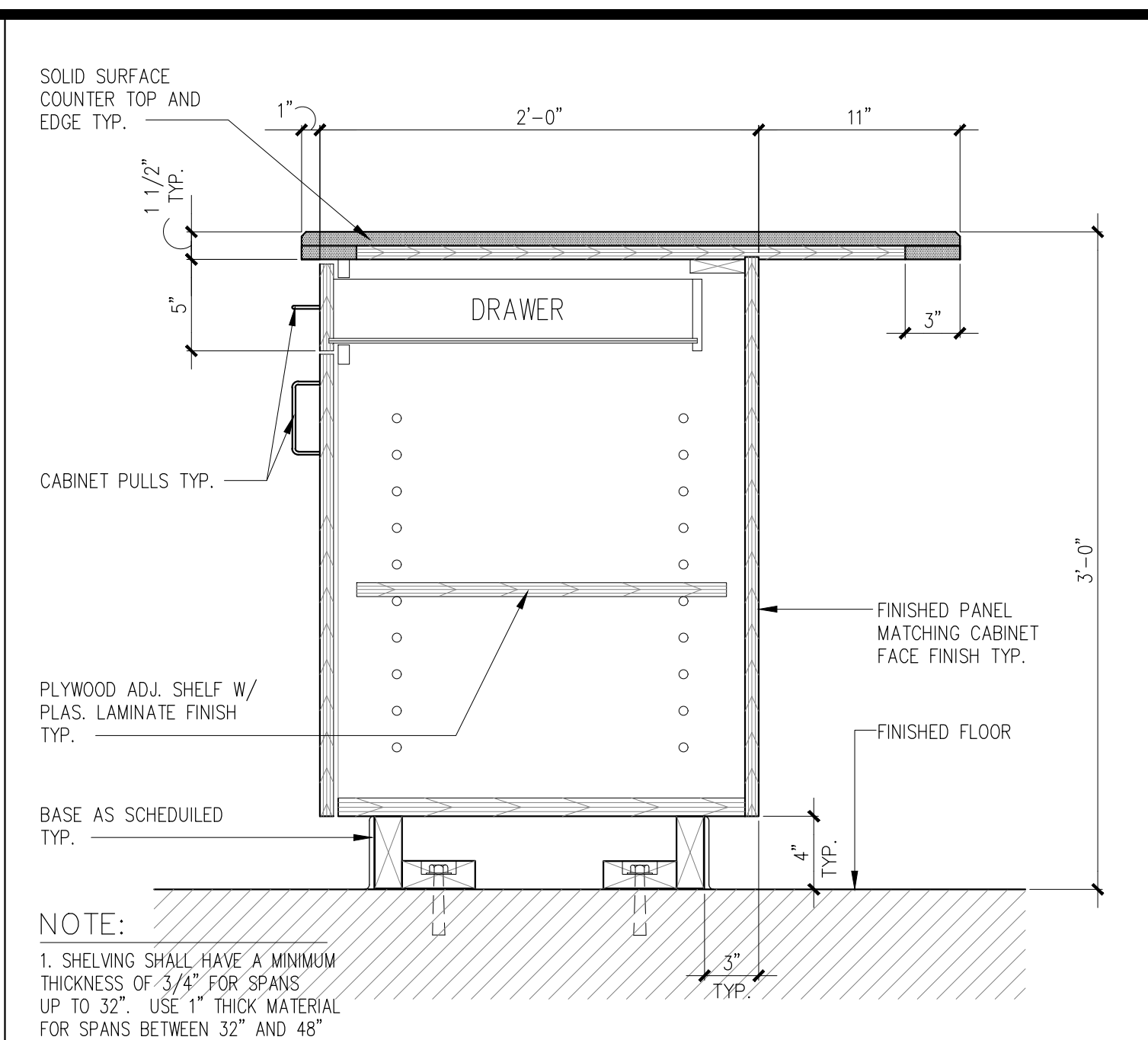




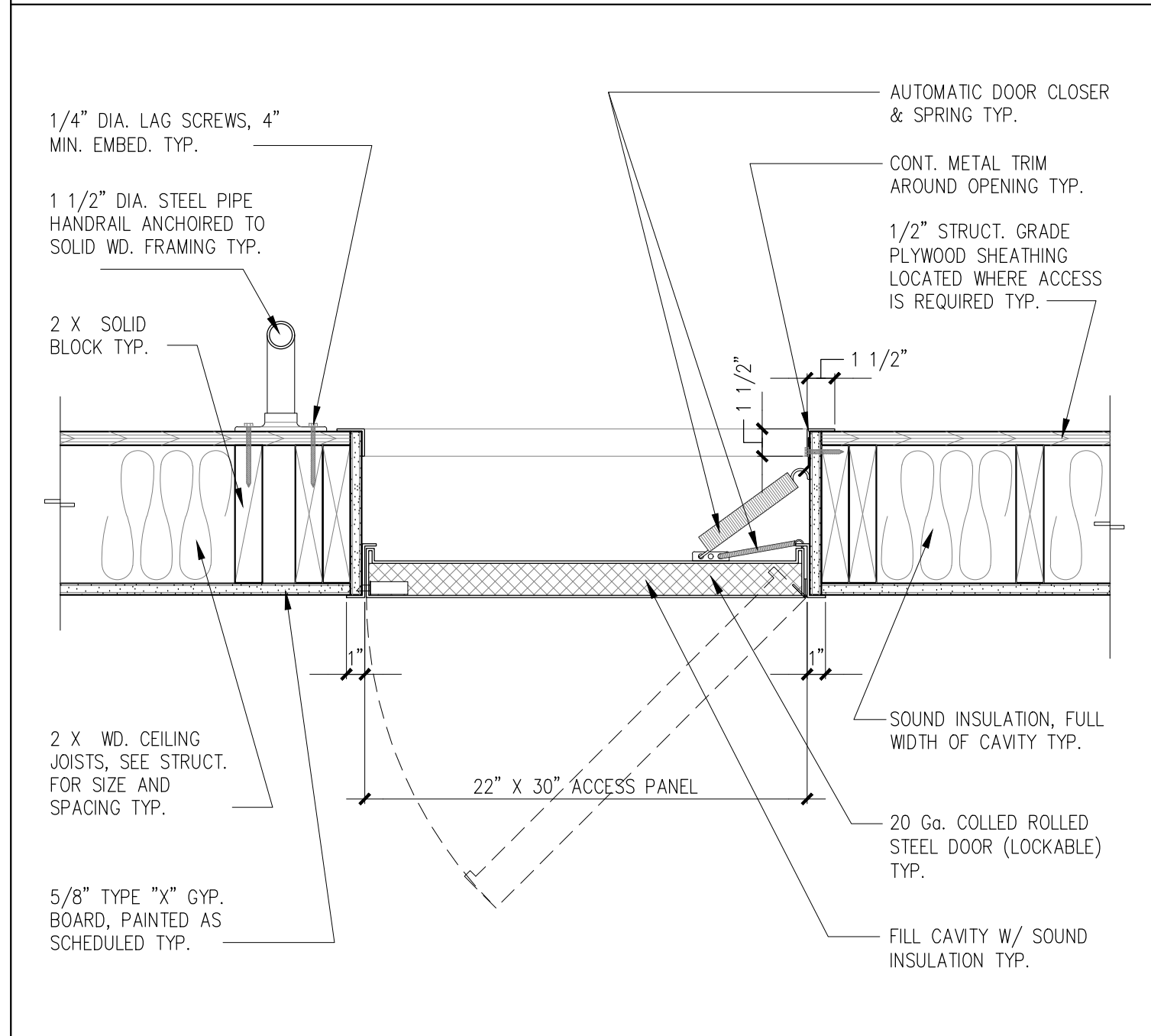
SECTION @ SHOWER PAN	SCALE: 1 1/2"=1'-0"	8
----------------------	---------------------	---



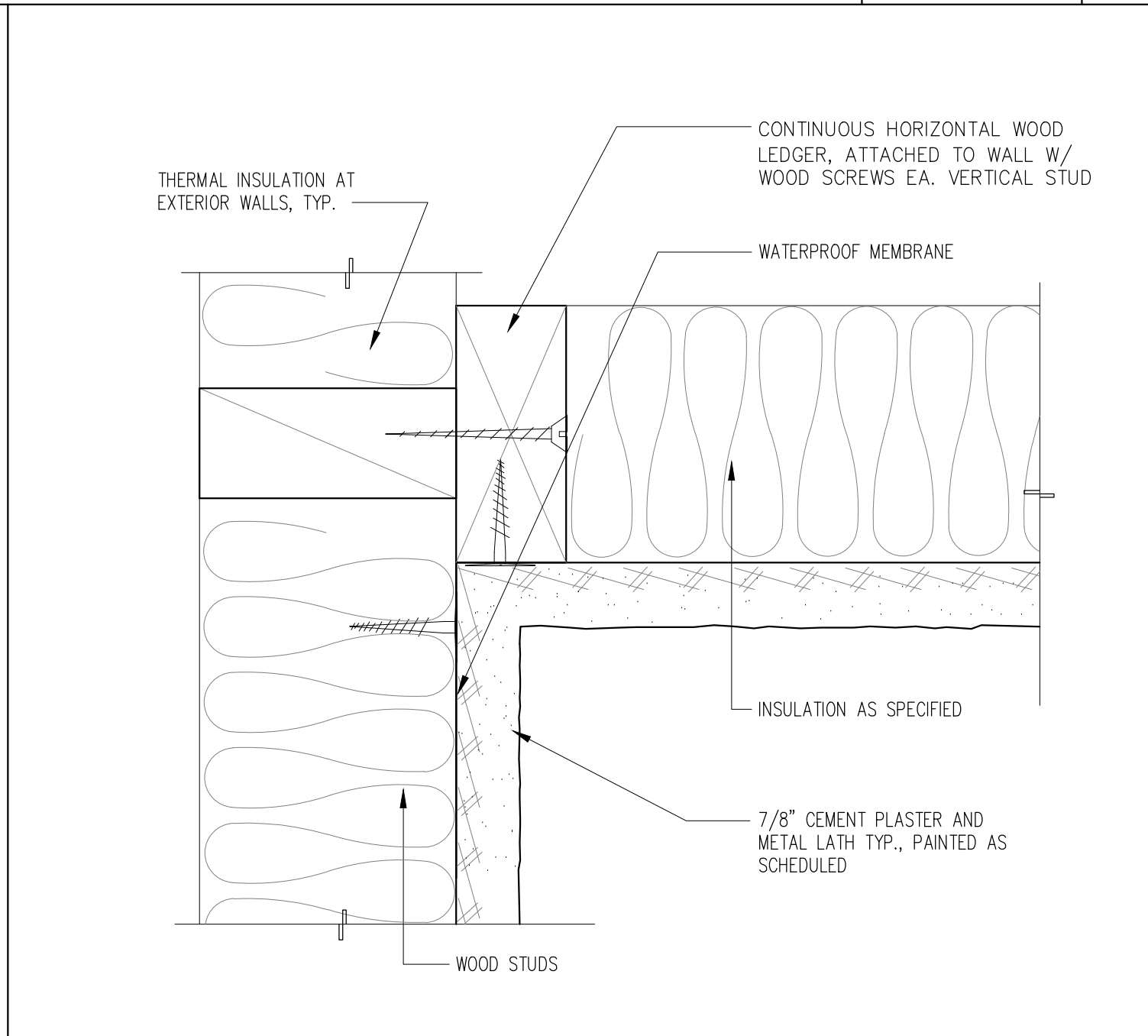
TYP. CABINET TO WALL ANCHORAGE	NO SCALE	5
--------------------------------	----------	---



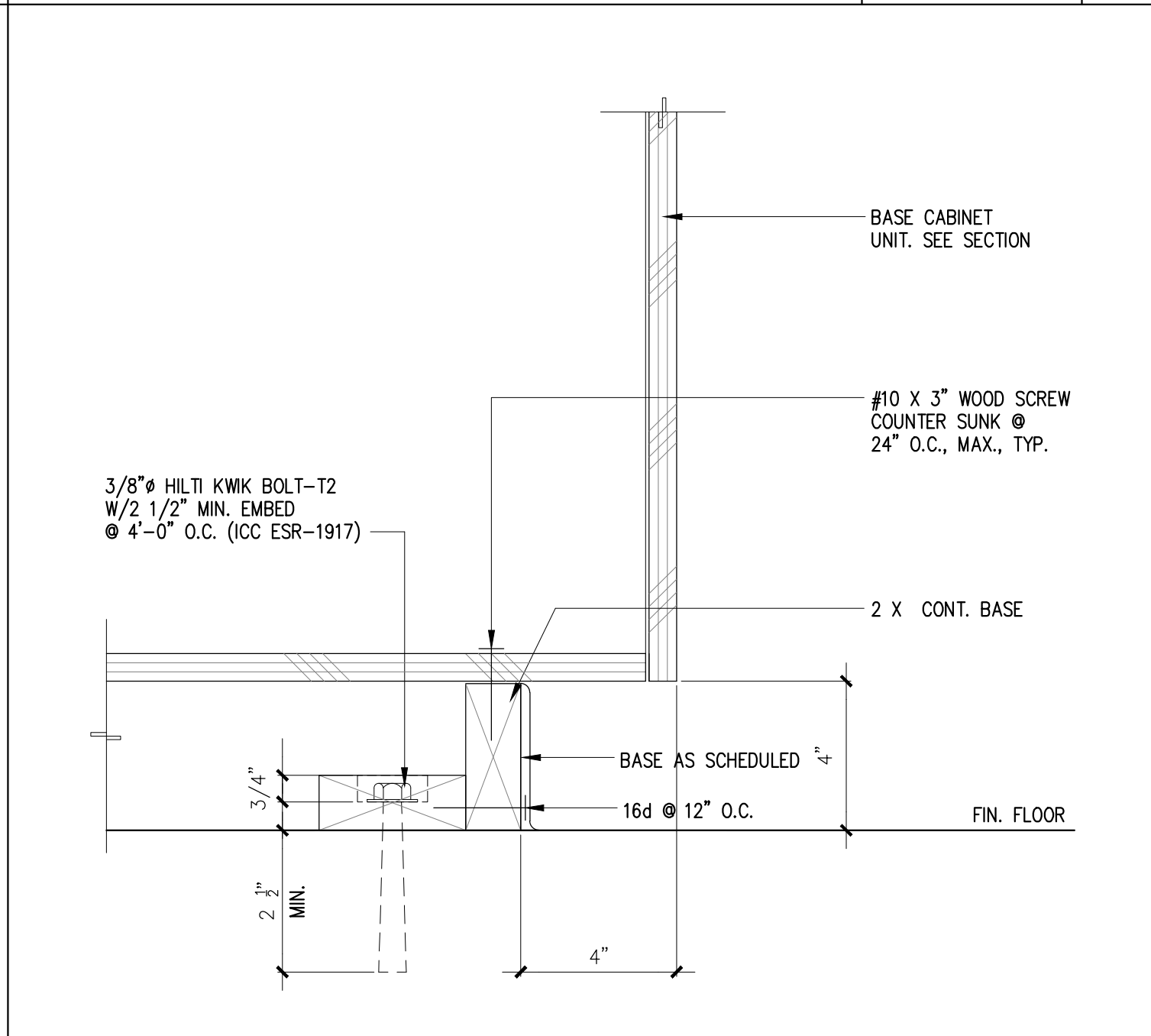
TYPICAL ISLAND SECTIONM	SCALE: 1 1/2"=1'-0"	2
-------------------------	---------------------	---



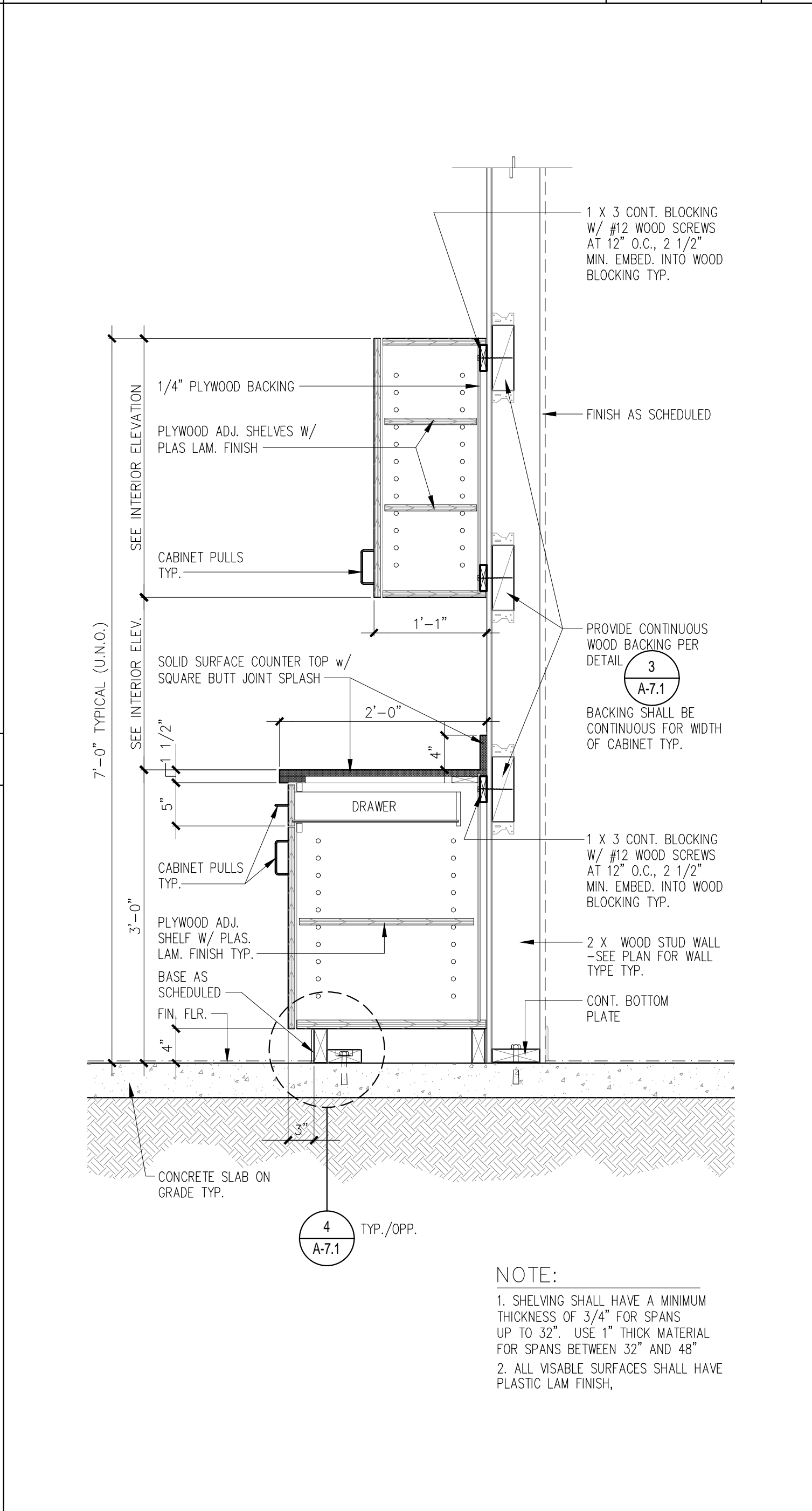
ATTIC ACCESS PANEL	SCALE: 1 1/2"=1'-0"	10
--------------------	---------------------	----



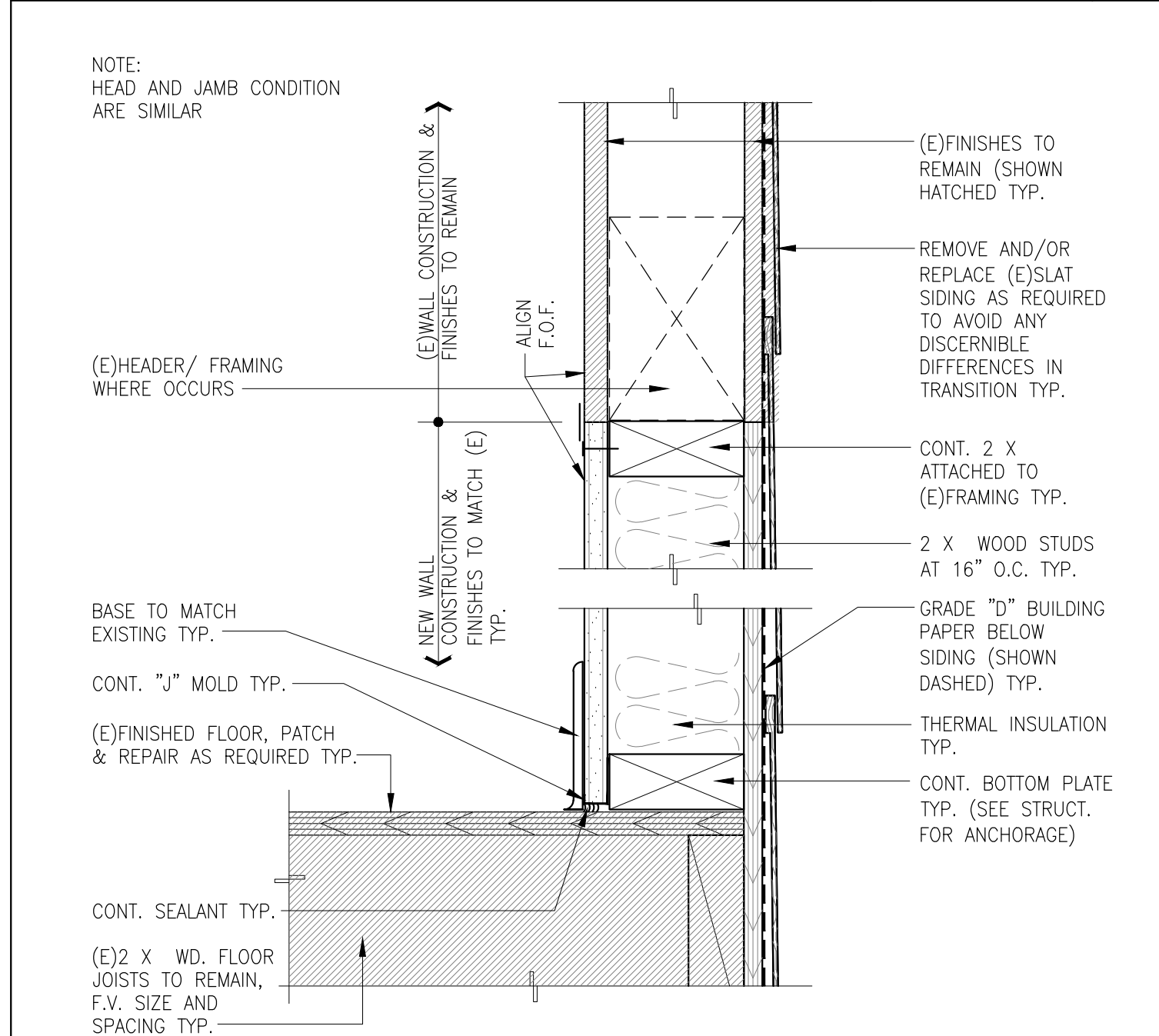
FRAMING @ PLASTER CEILING	HALF FULL SCALE	7
---------------------------	-----------------	---



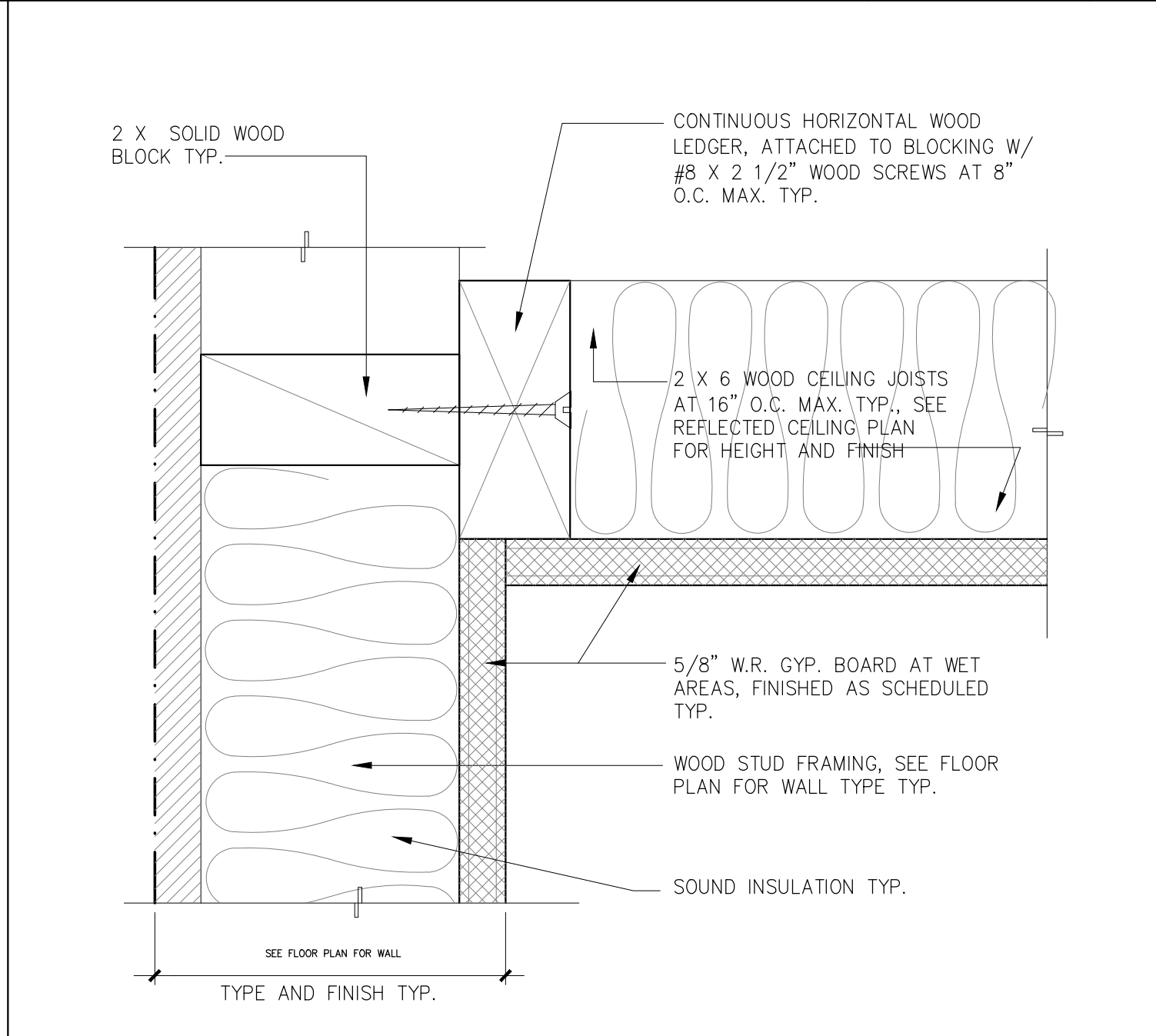
CABINET BASE DETAIL	NO SCALE	4
---------------------	----------	---



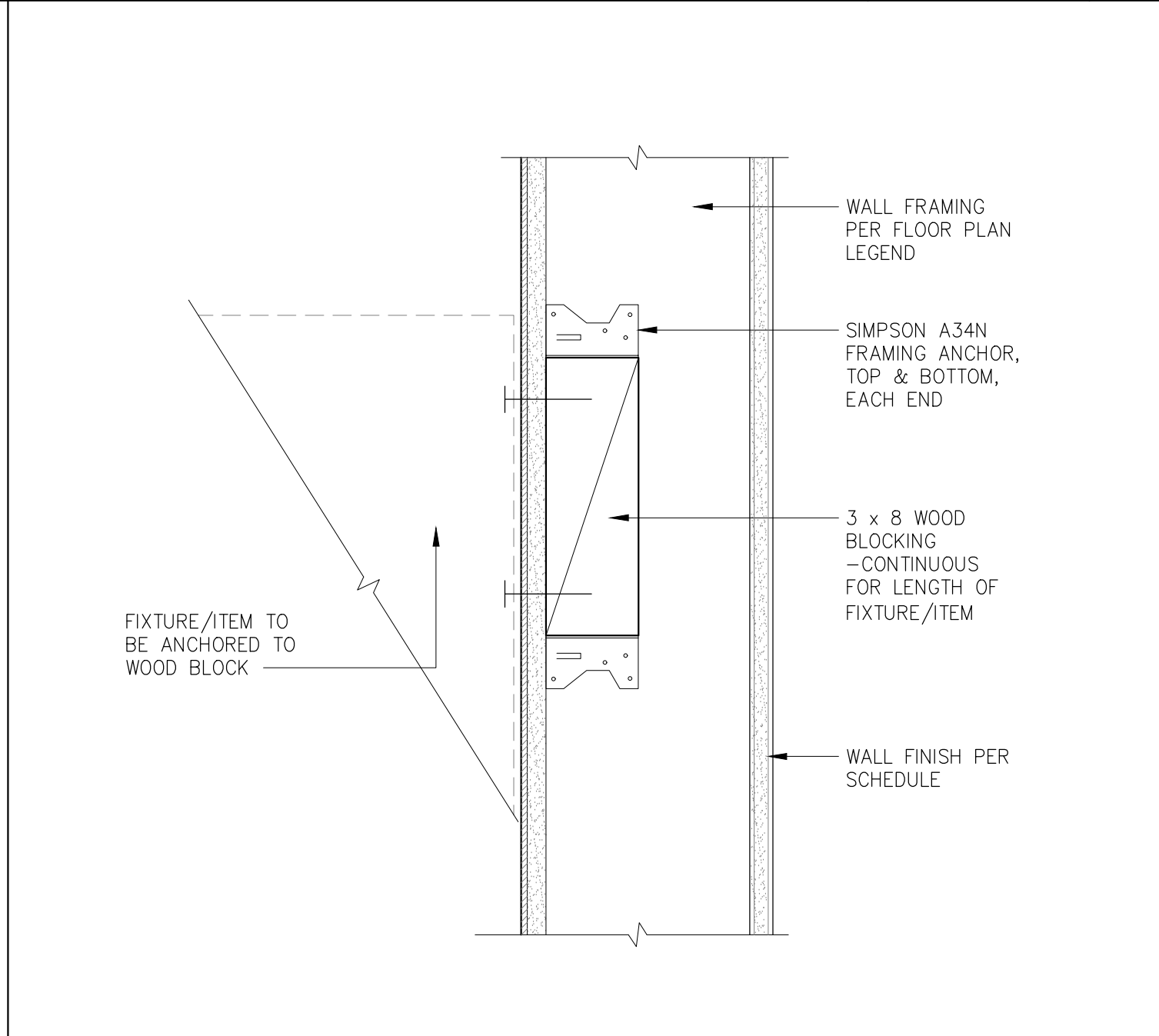
TYPICAL CABINET SECTION	SCALE: 1"=1'-0"	1
-------------------------	-----------------	---



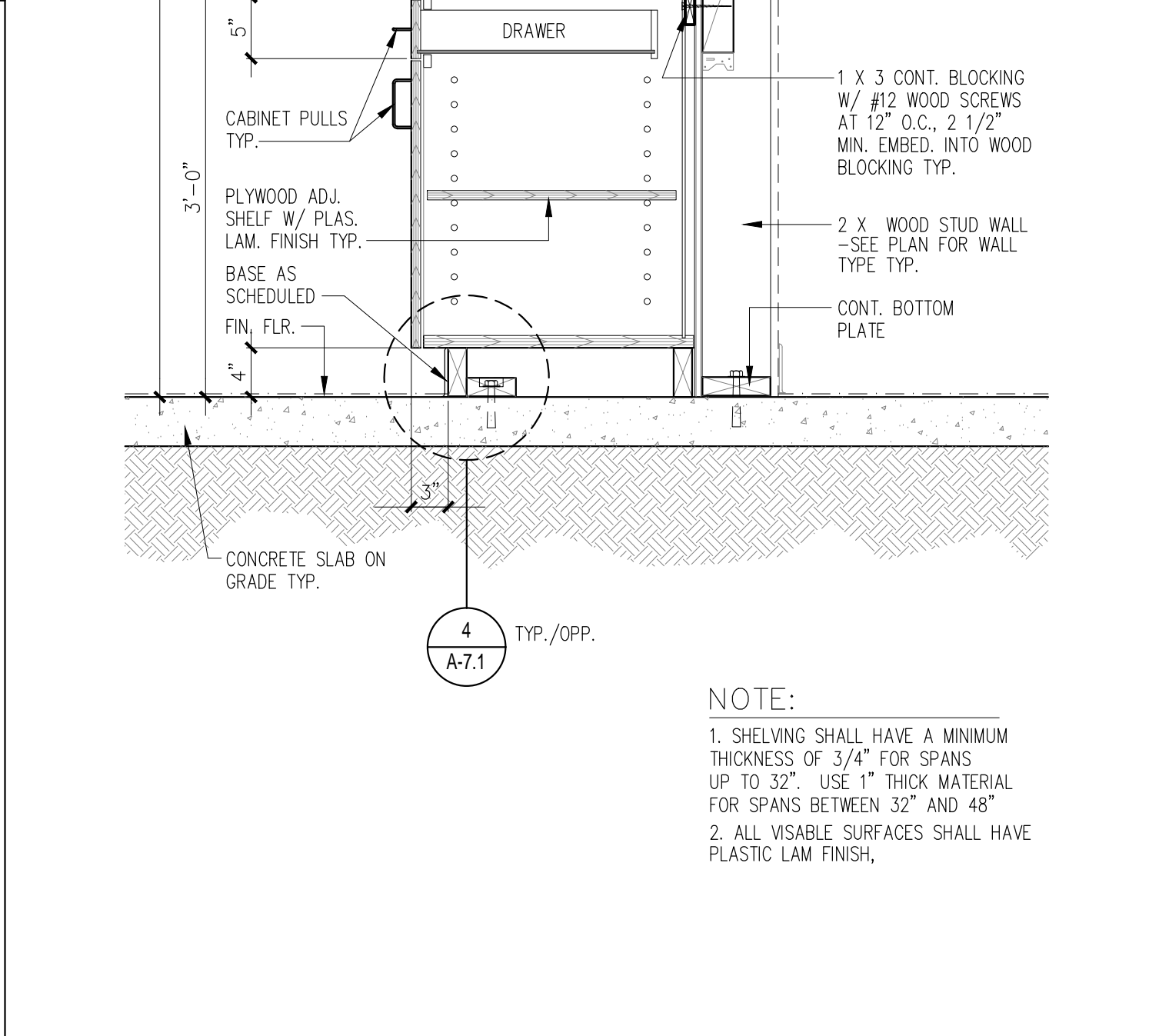
WALL OPENING INFILL	SCALE: 3"=1'-0"	9
---------------------	-----------------	---



FRAMING @ HARD LID CEILING	HALF FULL SCALE	6
----------------------------	-----------------	---



TYPICAL BACKING FOR ANCHORAGE	SCALE: 3"=1'-0"	3
-------------------------------	-----------------	---



TYPICAL CABINET SECTION	SCALE: 1"=1'-0"	1
-------------------------	-----------------	---



[illegible]

---